

# La Jolla Community Planning Association

Regular Meetings: 1<sup>st</sup> Thursday of the Month | La Jolla Recreation Center, 615 Prospect Street

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**Contact Us:**

Mail: PO Box 889, La Jolla, CA 92038

Web: [www.lajollacpa.org](http://www.lajollacpa.org)

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President: Tony Crisafi

Vice President: Matt Mangano

2<sup>nd</sup> Vice President: Dave Gordon

Secretary: Suzanne Weissman

Treasurer: Mike Costello

## DRAFT AGENDA –

**Regular Meeting | Thursday, 1 August 2019 – 6 p.m. (Revised)**

**6:00 p.m. 1.0 Welcome and Call to Order: Tony Crisafi, President**

**This is a full agenda, recorded meeting therefore, the following rules will be enforced:**

- A. Mobile devices off or on silent mode.**
- B. All public and trustee comment will be addressed to the chair.**
- C. Public and trustee comment will be limited to 2 minutes**
- D. Comments will be directed to the project or matter using third person, singular or plural when they are addressed to the chair.**
- E. Chair may ask for member votes. Please keep hands raised until the vote tally is announced.**
- F. Upon consensus, Chair will close discussion and call for a motion**
- G. Chair will switch order of trustee comment as per July, 2019 meeting request**
- H. Please notify chair of any organized public presentation requests prior to meeting**

**6:05 p.m. 2.0 Adopt the Agenda**

**6:10 p.m. 3.0 Meeting Minutes Review and Approval:**

**3.1 18 July 2019 – Regular meeting minutes**

**4.0 Officer Reports:**

*If a Sign Language Interpreter, aids for the visually impaired, or Assisted Listening Devices (ALDs) are required, please contact the City's*

*Disability Services Coordinator at 619-321-3208 at least (5) five work days prior to the meeting date to insure availability.*

#### 4.1 Treasurer - Mike Costello's report

Beginning Balance as of 7/18/19 \$444.27

##### Income

• Collections	\$ 141.00
• CD Sales	\$ <u>0</u>
Total Income	\$ 141.00

##### Expenses

• Agenda printing	\$ 92.49
Total Expenses	\$ <u>92.49</u>
Net Income/(Loss)	\$
Ending Balance of 7/31/19	\$ 492.78

#### 4.2 Secretary-

##### 5.0 Elected Officials – Information Only

- 5.1 Council District 1: Councilmember Barbara Bry.  
Rep: **Mauricio Medina**, 619-236-6611, [mauriciom@sandiego.gov](mailto:mauriciom@sandiego.gov)  
Torrey Pines Slope restoration – 10 minutes
- 5.2 78<sup>th</sup> Assembly District: Assembly member Todd Gloria  
Rep: **Mathew Gordon** 619-645-3090 [mathew.gordon@asm.ca.gov](mailto:mathew.gordon@asm.ca.gov)
- 5.3 39<sup>th</sup> Senate District: State Senator Toni Atkins, Senate President pro Tempore  
Rep: **Chevelle Newell Tate**, 619-645-3133, [Chevelle.Tate@sen.ca.gov](mailto:Chevelle.Tate@sen.ca.gov)

##### 6.0 President's Report – Information only unless otherwise noted

6.1 The Children's Pool SCR (PTS627990) appeal to City Council docketed for Sept 17, 2019  
@ 2:00

6.2 Hershfield environmental appeal docketed for Sept 17, 2019

##### 6:30 p.m. 7.0 Public Comment

Opportunity for public to speak on matters not on the agenda, 2 minutes or less.

- 7.1 City of San Diego – Community Planner: **Marlon Pangilinan**, [mpangilinan@sandiego.gov](mailto:mpangilinan@sandiego.gov)
- 7.2 UCSD - Planner: **Anu Delouri**, [adelouri@ucsd.edu](mailto:adelouri@ucsd.edu), <http://commplan.ucsd.edu/> or Robert Brown
- 7.3 General Public



## 8.0 Non-Agenda Trustee Comment

Opportunity for trustees to comment on matters not on the agenda, 2 minutes or less.

## 6:45 p.m. 9.0 Reports from Ad Hoc and non-LJCPA Committees - Information only unless noted.

### 9.1 Community Planners Committee

<http://www.sandiego.gov/planning/community/cpc/index.shtml> - Dave Gordon

### 9.2 Coastal Access & Parking Board <http://www.lajollacpa.org/cap.html>

### 9.3 UC San Diego advisory Committee

### 9.4 Hillside Drive Ad Hoc Committee – Diane Kane, Chair

### 9.5 Airport Noise Advisory Committee – Matthew Price

### 9.6 Playa Del Norte Stanchion Committee

## 7:00 p.m. 10.0 Consent Agenda – 10.1 – 10.4

**The public is encouraged to attend and participate in Community Joint Committee & Board meetings before the item/project is considered by the LJCPA.**

PDO – Planned District Ordinance Committee, Chair Deborah Marengo, 2nd Monday, 4:00 pm

DPR – Development Permit Review Committee, Chair Brian Will, 2nd & 3rd Tuesday, 4:00 pm

PRC – La Jolla Shores Permit Review Committee, Chair David Gordon, 3rd Monday, 4:00 pm

T&T – Traffic & Transportation Board, Chair David Abrams, 3rd Wednesday, 4:00 pm

The Consent Agenda allows the LJCPA to ratify recommendations of the community joint committees and boards in a single vote with no presentation or debate. It is not a decision regarding the item but a decision whether to accept the recommendation of the committee/board as the recommendation of the LJCPA. The public may comment on consent items.

**10.1 – La Jolla Wine & Art Festival** - Request for Temporary Street Closures on portions of Girard Ave, Wall Street, and Silverado Street for the 11<sup>th</sup> annual fundraiser event benefiting La Jolla Public Schools on Saturday and Sunday October 12-13, 2019

### **T&T Motion to approve Temporary Street Closures 8-0-0**

**10.2 – Manoogian Wedding Procession** - Request for Temporary Street Closures on portions of Ivanhoe Ave and Prospect Street for brief wedding procession from Congressional Church to La Valencia Hotel the afternoon of Saturday September 14, 2019 (Claire Manoogian)

### **T&T Motion to approve Temporary Street Closures 7-1-0**

**10.3 – 2677 Brookmead Lane CDP Project No. 630967 (Process 3)** Coastal Development Permit for the construction of a new single dwelling unit and attached garage for a total of 11,100 square feet of construction on a vacant lot located at 2677 Brookmead Lane. The 1.28 acre project site is located in the RS-1-2 zone and the Coastal (Appealable) Overlay Zone within the La Jolla Community Plan area and Council District 1.

**LJPRC Motion: Findings can be made to approve and motion passes 6-0-1**

**10.4 – Bird Rock Condos – 5656 La Jolla Blvd CDP/TM Project No. 595139 (Process 3)** Coastal Development Permit & Tentative Map for the creation of four residential condominium units under construction at 5656 La Jolla Boulevard. The 0.17 acre site is in Zone 4 of the La Jolla Planned District, Coastal (Non-Appealable) overlay zone within the La Jolla Community Plan Area. Council District 1.

**LJPRC Motion: Findings can be made to approve and motion passes 4-1-1**

See Committee minutes and/or agenda for description of projects, deliberations, and vote.  
Anyone may request a consent item be pulled for full discussion by the LJCPA.

The following agenda items, are ACTION ITEMS unless otherwise noted, and may be *de novo* considerations. Prior actions by committees/boards are listed for information only.

**11.0 – 11.3 LJCPA Review and Action Matter**

**11.0 – Proposed changes to be on the list for the SDMC 13<sup>th</sup> Code Revision re: Serial Permitting & Garage to Carport conversions. See attached information.**

**LJPRC Motion: Findings can be made to approve and motion passes 5-0-1 for the following:**

Recommend to CPA the following code edits to SDMC 126.0704(a): Improvements to existing structures are exempt, except ....(to add a new number following item number 5). “The demolition or removal of 50% or less of the exterior walls of the existing structures if the proposed application is received within 5 years of final inspection of a previous 50% exempt remodel on the same structure. An exemption will be allowed within the 5 year time frame if 50% of the exterior walls of the original structure (as it existed 5 years ago) will still remain.”

**11.1 – Micro Mobility Parking Corrals for La Jolla – City proposal for placement of numerous defined spaces within the public street for parking of dockless scooters and bicycles.**

<https://www.latimes.com/opinion/story/2019-07-18/scooters-bird-uber-airbnb-tech-public-space>

T&T Motion to recommend to city installed micro-mobility corrals @ 81 locations and require city to have the owners & operators of the devices geo-fenced so that the rider is charged until device is left in a corral.  
Passes 6-3-0. Trustee action to not approve by motion/second/vote.

**11.2 – Hershfield Residence – CDP #2134597 & SDP #2134595 Project and environmental appeal. See attachments**

**Action Item: To ratify or retract the previous appeal withdraw action on information presented by the LJCPA President & the applicant.**

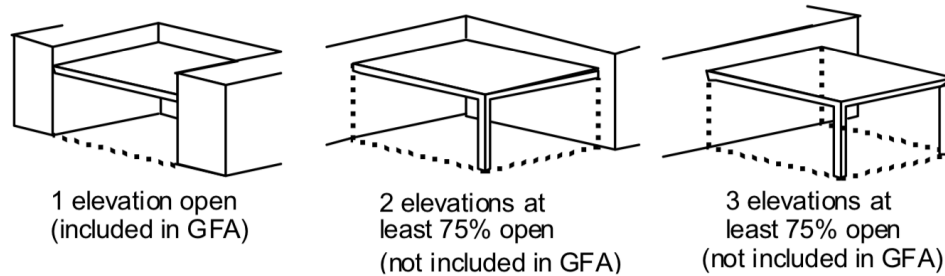
**11.3 – La Jolla Childrens Pool sluice gates: Whether to advise the city to open the sluice gates at the Childrens Pool to clean the sand and keep it from building up creating a hill**

**XX. Adjourn to next regular LJCPA Meeting: Thursday, September 5, 2019 at 6:00 pm.**

**Article 3: Land Development Procedures Division 2: Rules for Calculation and Measurement****(Added 12-9-1997 by O-18451 N.S.; effective 1-1-2000.)**

- (6) Gross floor area includes on- or above-grade parking structures, garages, and carports that are constructed and maintained with less than two elevations of the element that are at least 75 percent completely open, as shown in Diagram 113-02M, except where the parking structure design meets the exemptions identified in Section 113.0234(d)(3).

**Diagram 113-02M**  
**Garages/Carports**

**Recommended Code Change**

The square footage of a garage or carport must be included in the Gross Floor Area calculation and Floor Area Ratio. Where an enclosed garage existed prior to teardown or remodel an enclosed garage must be constructed with at least the same dimensions as the original. Setback requirements must adhere to the original or current setback requirements whichever is greater.

**Justification for Code Change**

There is no promotion (or improvement) of neighborhood quality, character or livability that justifies the conversion of a garage to a carport as called out in **§131.0403 Purpose of the RS (Residential--Single Unit) Zones.**

Developers and City Staff have used a confusing interpretation of the code and accompanying Diagram 113-02M to add square footage to the livable area of the house thus significantly increasing its bulk and scale. This results in negative impact on the surrounding neighborhood. Conversions are being included as part of a 'serial' or 'combination' permit.

Transferring the square footage into the living area of the house is for financial reasons only. The developer sees substantial increase in profits due to applied value per square foot. The argument that a carport adds to the design quality of the structure cannot be made, for the mere fact that a garage door is added to give the appearance but not the security of an enclosed garage. Also, owners have placed screens, lattice, vines/bushes/plants and other barricades to make it more 'garage' like, not in keeping with the open design of a carport.

**SUGGESTED ADDITION TO THE SAN DIEGO MUNICIPAL CODE:  
'COMBINATION' OR 'SERIAL' PERMITTING**

**Current**

There appears to be no approved formal San Diego Municipal Code for 'combination' or 'serial' permitting for residential development.

There is reference to so-called 'serial' permitting in a DRAFT document *Information Bulletin Coastal Demolition*.

**Can I do a phased remodel?**

Once a 50 percent exemption project has been finalized by the City combination inspector, the completed project becomes the "existing" walls, and another project proposing up to 50 percent demolition of those walls may be approved.

Under the '50% Rule' no Coastal Development Permit and likewise no community review is required for 'remodel' projects where 50% or less of the exterior walls are removed.

Developers have learned and are taking full advantage of this DSD process of allowing footprints of houses to be expanded by adding new exterior walls and then allowing those walls to be used to determine what constitutes 50% of "existing" walls. These walls are temporary and are only constructed to expand the footprint and overall size of the house.

This practice not only creates a building that is out of scale with the surrounding neighborhood but imposes on the security, comfort and property value of adjacent properties.

Essentially a totally new structure is built with the developer receiving the overall financial benefit and the community having no opportunity to review what amounts to a new project.

Additionally, the City and community is denied developer impact fees which would go to improving the infrastructure.

This practice combined with other allowances in the code i.e. garage to carport conversions, balconies, decks, etc. result in houses with a bulk and scale that by appearances exceeds the allowable FAR.

**Recommended Code Wording**

- To be considered a remodel and not require community review or a Coastal Development Permit, only those exterior walls deemed to be existing on the current structure may be used to determine percentage left standing. No common walls within a garage, porch, etc. may be used.
- If the existing house footprint has been expanded and setbacks are deemed to be non-conforming, the new development must adhere to the required setbacks.
- Before a second permit is granted for a remodel under the 50% rule the previous remodel must be approved for habitation for the entire house and a one year lapse between the approval and the issuance of the new permit must take place. Second story additions on a previous remodel using the 50% rule must wait 5 years from the date of the approval for habitation or go through community review and the Coastal Development Permit process.



## La Jolla Community Planning Association

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August 1, 2019

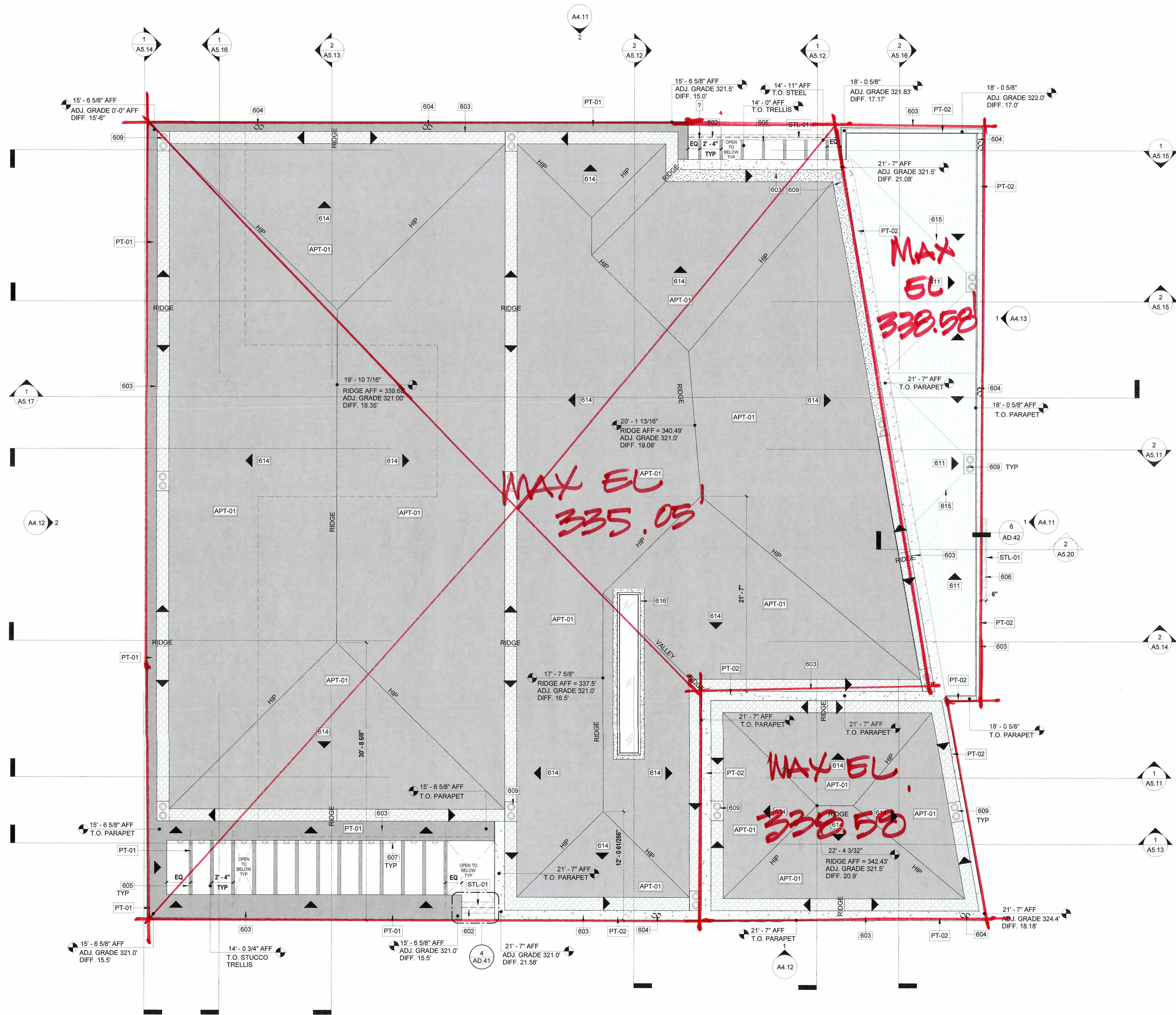
### **Action Item 11.2 - Hershfield Residence – Supplemental Information**

1. 11 Pages of CDP submittal roof plan, building elevations & building sections noting proposed parapet & hip roof removal.
2. Applicant's proposed agreement to be documented on Exhibit 'A' drawing.
3. Letter from neighbors.
4. Pending August 1, 2019 reverse decision for environmental appeal, argument to be presented to City Council on September 17, 2019.



ROOF PLAN

3/16" = 1'-0"



- GENERAL NOTES
1. MINIMUM NET FREE VENTILATION AREA SHALL BE 1:150 OF THE AREA OF THE VENTED SPACE PER SECTION R806.2 OF THE 2018 IRC AND 2016 CA RESIDENTIAL CODE
  2. ATTIC VENTILATION CALCULATION AT SLOPED TILE ROOF:
    - ROOF 1 AREA: 1,945 SQ. FT. = 934 SQ. IN. EXHAUST/INTAKE
    - ROOF 2 AREA: 1,990 SQ. FT. = 956 SQ. IN. EXHAUST/INTAKE
    - ROOF 3 AREA: 338 SQ. FT. = 163 SQ. IN. EXHAUST/INTAKE
  3. REFER TO BUILDING SECTIONS FOR ADDITIONAL ROOF DETAIL CALL OUTS
  4. SOLAR PV PANELS AT ROOF SHALL BE COORDINATED WITH ALL ROOF PENETRATIONS AND SHALL BE UNDER A SEPARATE PERMIT. CONTRACTOR TO PROVIDE ARCHITECT WITH PROPOSED PANEL AND EQUIPMENT LAYOUT AND PRODUCT DATA FOR APPROVAL PRIOR TO COMMENCEMENT OF ANY WORK. WORK SHALL BE COORDINATED WITH ELECTRICAL CONTRACTOR

EXTERIOR MATERIAL LEGEND	
SYMBOL	DESCRIPTION
PT-01	SMOOTH STUCCO FINISH, TYPICAL BLACK SMOKES ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
PT-02	SMOOTH CONCRETE BURNISHED STUCCO FINISH, LIGHT GREY ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
PT-03	RAKED CONCRETE BURNISHED STUCCO FINISH, LIGHT GREY ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
CO-02	POURED-IN-PLACE CONCRETE SMOOTH FINISH ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
WO-01	WOOD SING, MAKAMOTO FORESTRY, SHOU SUG BAN, GENDAI SUGU MATSUYAMA FINISH, ARMSTRONG MAHOGANY, 1/8" SHIP LIP, ASTM B96 RESISTANT TESTED ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
STL-01	HOT ROLLED STEEL PAINTED MAT FINISH, PT-01 ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
STL-02	NEOLITH COM, IRON SERIES, IRON GREY STAIN, SLAB FORMAT, 3MM TOP EXPOSED RIDGES TO BE SEALED TO BRING OUT COLOR TO MATCH FACE OF TILE ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
MTL-01	MCHONOLD DESIGNER WOVEN METAL MESH TECHNIA SERIES 8158 OR APPROVED EQUAL, FINISH TO MATCH ST-01 ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
APT-01	ASPHALT SHINGLE ROOF, CERTANTEED, LANDMARK (AR), COLOR PEWTERWOOD UL 780 CLASS A FIRE RESISTANCE, CO-85 ESR-189, ESR-807, ASTM E108 CLASS A1 ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
T-01	FLOOR TILE OVER RAIL SLAB HARDSCAPE, REFER TO INTERIORS FOR SPECIFICATION
CH-01	LIGHT GREY CONCRETE HARDSCAPE WITH LIGHT TEXTURE EXPOSED AGGREGATE WITH WAVING COLOR, CONCRETE TO BE SEALED CLEAR MATT FINISH ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK

- KEYNOTES
- 602 EXPOSED WF BEAM, REFER TO STRUCTURAL AND ARCHITECTURAL ROOF DETAILS FOR ADDITIONAL INFORMATION
  - 603 ROOF PARAPET WALL, REFER TO BUILDING SECTIONS, EXTERIOR ELEVATIONS AND ROOF DETAILS FOR ADDITIONAL INFORMATION
  - 604 ROUTE ROOF DRAINS DOWN WALL WHERE OCCURS INTO LANDSCAPE AREA AND DOWN THE EXISTING SLOPE IN THE REAR OF THE SITE TO A PUBLIC ALLEY, REFER TO CIVIL AND PLUMBING FOR ADDITIONAL INFORMATION
  - 605 STUCCO FINISHED 4X12 WOOD TRELLIS PER STRUCTURAL
  - 606 3/16" BLACKENED H.R. STEEL PLATE CEILING AT ENTRY, SLOPE 1/8" PER FOOT AWAY FROM BUILDING TO DRAIN
  - 607 EXTERIOR WALL MOUNTED LIGHT FIXTURE, REFER TO ARCHITECTURAL ROOF DETAILS, LIGHTING PLANS AND ELECTRICAL FOR ADDITIONAL INFORMATION
  - 609 3" PRIMARY ROOF DRAINS AND 3" SECONDARY OVERFLOW DRAIN AT 2' ABOVE LOW POINT OF ROOF W/ DOMED STRAINERS AND DRAIN LINES TO GRADE, REFER TO PLUMBING FOR ADDITIONAL INFORMATION
  - 611 1/4" TYPICAL FLAT ROOF CONSTRUCTION: SBS MODIFIED BITUMEN TORCH DOWN ROOF SYSTEM OVER CLOSED CELL RIGID INSULATION PER MANUFACTURER'S SPECIFICATIONS O/ PLYWOOD SHEATHING O/ PRE-MANUFACTURED ROOF TRUSSES @ 24" OC PER STRUCTURAL
  - 614 3/12 SLOPED ASPHALT SHINGLE ROOF, REFER TO ROOF DETAILS FOR ADDITIONAL INFORMATION
  - 615 1/2" CDX PLYWOOD CRICKET, COVERED WITH SAME MATERIAL AS ROOF OR DECK, SLOPE TO DRAIN
  - 616 CUSTOM SKYLIGHT ON PREMANUFACTURED CURB, REFER TO ROOF DETAILS FOR DESIGN INTENT, SKYLIGHT TO BE INCLUDED AS PART OF DEFERRED SUBMITTAL PACKAGE



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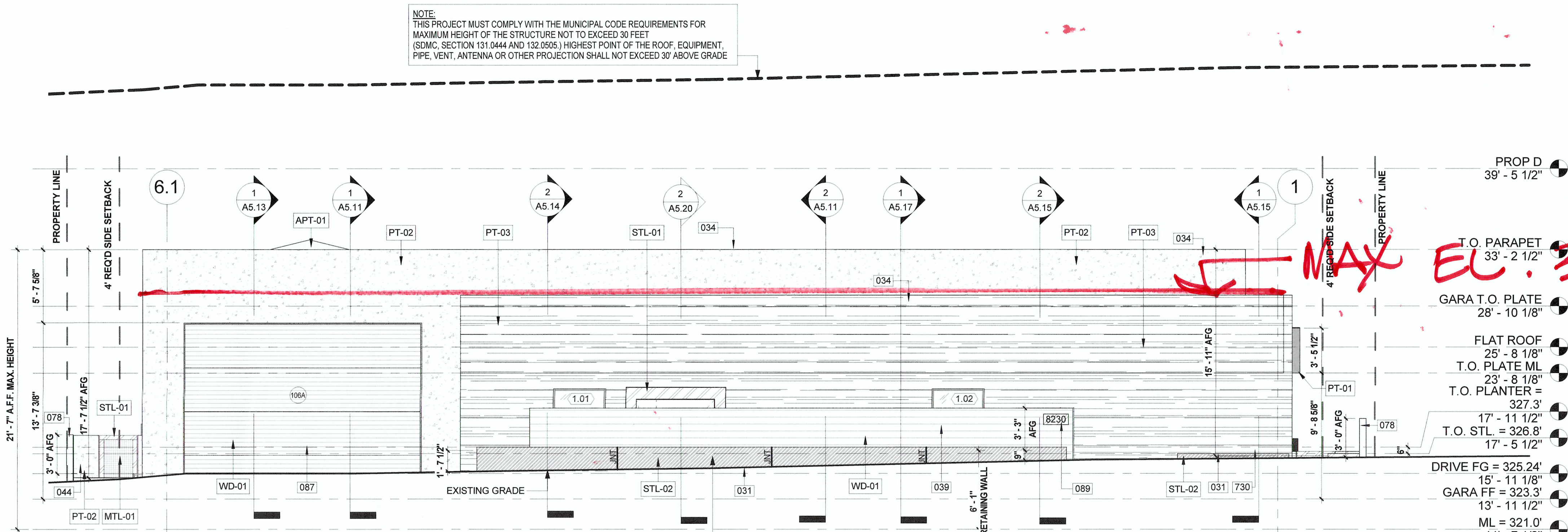
REVISIONS:	NO.	DATE	DESCRIPTION
	1		

CHECKED BY: AF  
SCALE: As indicated  
ISSUE DATE: 05.24.19  
DRAWING BY: RP

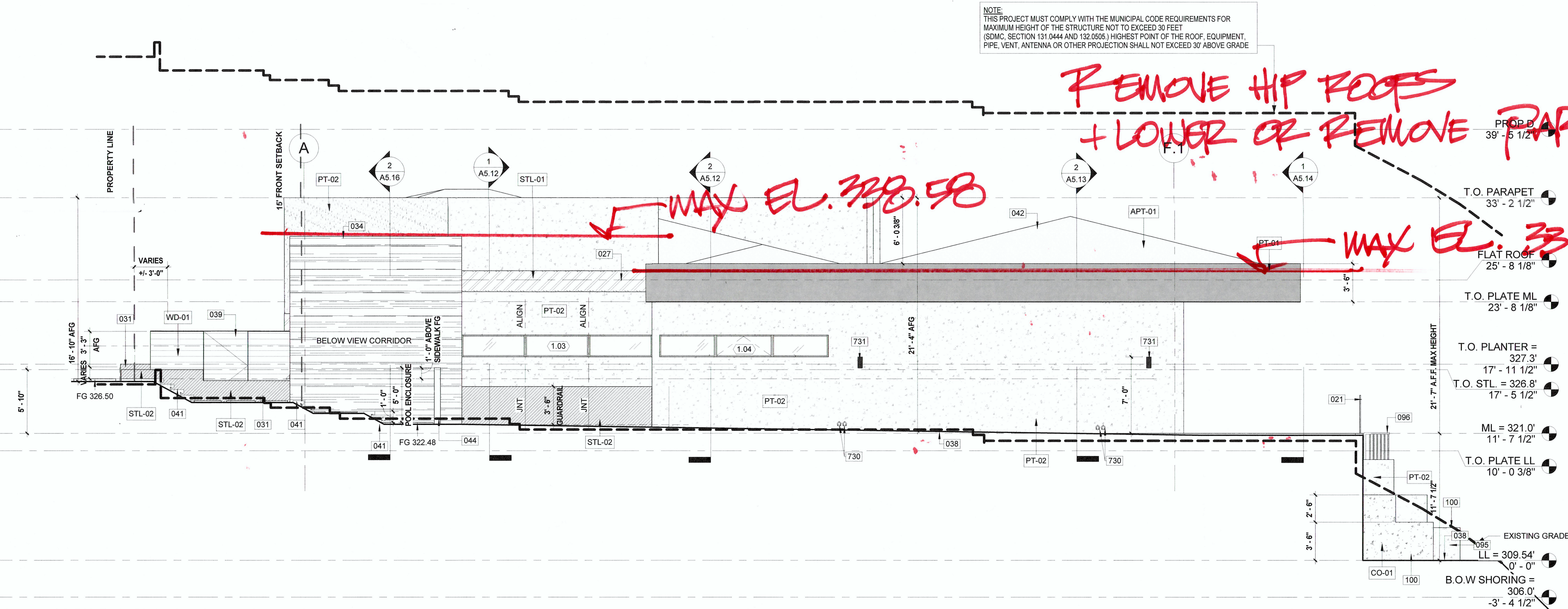
SHEET TITLE: ROOF PLAN

7/23/19  
SHEET NO.: A3.01





1 EAST ELEVATION  
3/16" = 1'-0"



2 NORTH ELEVATION  
3/16" = 1'-0"

NOTE: FOR PROP D LIMITATIONS, REFER TO BUILDING SECTION 1/A5.11 FOR CALCULATIONS

#### GENERAL EXTERIOR ELEVATION NOTES

A. ANY DISCREPANCIES IN DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND BE RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION. DO NOT SCALE DRAWINGS.  
B. REFER TO SITE PLAN | CIVIL DRAWINGS FOR SITE UTILITY INFORMATION  
C. REFER TO SHEETS A 5.11 THRU A 5.16 FOR BUILDING SECTIONS

#### EXTERIOR MATERIAL LEGEND

SYMBOL	DESCRIPTION
PT-01	SMOOTH STUCCO FINISH, TRICORN BLACK SWISS ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
PT-02	SMOOTH CONCRETE BURNISHED STUCCO FINISH, LIGHT GREY, ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
PT-03	RAVED CONCRETE BURNISHED STUCCO FINISH, LIGHT GREY, ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
CO-02	POURED-IN-PLACE CONCRETE SMOOTH FINISH, ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
WD-01	WOOD SIDING, NAKAMOTO FORESTRY, SHOU SHU BAN, GROUND SQUAM WITH FINISH, HANDBOOK MARKING, 1/8" SHIP LAP, ASTM E84 FIRE RESISTANT TESTED ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
STL-01	HOT ROLLED STEEL PAINTED MAT FINISH, PT-01, ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
STL-02	HEALTH COM, IRON SERIES, IRON GREY STAIN, SLAB FORMAT, 3MM TOP EXPOSED EDGES TO BE SEALED TO BRING OUT COLOR TO MATCH FACE OF TILE, ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
MTL-01	MONOCHOLS DESIGNER WOVEN METAL MESH, TECHNIA SERIES 8189 OR APPROVED EQUAL, FINISH TO MATCH ST-01, ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
APT-01	ASPHALT SHINGLE ROOF, CERTAINTED, LANDMARK (AR), COLOR PETERWOOD (UL 790 CLASS A FIRE RESISTANCE, ICC-ES ESR-1389, ESR-3337, ASTM E108 CLASS A), ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
T-01	FLOOR TILE OVER RAY SLAB HARDSCAPE, REFER TO INTERIORS FOR SPECIFICATION
CH-01	LIGHT GREY CONCRETE HARDSCAPE WITH LIGHT TEXTURE EXPOSED AGGREGATE WITH VARYING COLOR, CONCRETE TO BE SEALED CLEAR MAT FINISH, ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK

#### KEYNOTES

021	42" H. 1/2" THICK MONOLITHIC TEMPERED GLASS GUARDRAIL WITH RECESSED SHOE. REFER TO DETAILS PER ARCHITECTURAL PLAN
027	BLACKENED STEEL WIDE FLANGE BEAM TRELLIS
031	BLACKENED STEEL TILE OVER 6" CMU WALL PLANTER. REFER TO EXTERIOR MATERIAL LEGEND
034	PARAPET
038	PROPOSED GRADE
039	8" CMU COURTYARD SCREEN WALL WITH WOOD SIDING FINISH EACH SIDE. MITER SIDING AT ALL CORNERS W.O.
041	CONCRETE STEPS-ON-GRADE PER SITE DETAILS
042	ASPHALT TILE ROOF SYSTEM. REFER TO EXTERIOR MATERIAL LEGEND FOR SPECIFICATION AND ROOF DETAILS FOR ADDITIONAL INFORMATION
044	SIDE YARD GATE AND WALL UNDER A SEPARATE PERMIT. REFER TO ARCH. COVER SHEET BUILDING SECTIONS AND EXTERIOR ELEVATIONS FOR HEIGHTS AND ADDITIONAL INFORMATION. NOTE: NO POOL ENCLOSURE GATE AND FENCE SHALL BE HIGHER THAN THE VIEW CORRIDOR EASEMENT
078	MINI-SPLIT MECHANICAL UNIT CONDENSORS AND PAD. REFER TO MECHANICAL FOR ADDITIONAL INFORMATION
087	GARAGE DOOR PER EXTERIOR SPECIFICATIONS AND DOOR SCHEDULE
089	ADDRESS NUMBER SIGN WITH UP LIGHTING FROM LANDSCAPE TO MEET REGULATIONS PER FHP'S POLICY P-03 (UFC 901.4.4)
095	1/2" H. STEEL GUARDRAIL AT POOL AND SPA LEDGE THROUGH PER ARCHITECTURAL SITE DETAILS AND EXTERIOR SPECIFICATIONS
100	CMU RETAINING PLANTER WALL UNDER A SEPARATE PERMIT. REFER TO COVER SHEET AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
730	COW TONGUE WALL SCUPPER OUTLET AND OVERFLOW. REFER TO PLUMBING AND CIVIL DWGS. FOR DRAINAGE AND ARCH. EXTERIOR SPECIFICATIONS FOR ADDITIONAL INFORMATION
731	WALL MOUNTED LIGHT FIXTURE - REFER TO ELECTRICAL PLAN & EXTERIOR SPECIFICATIONS



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BUILDING DEPARTMENT SET

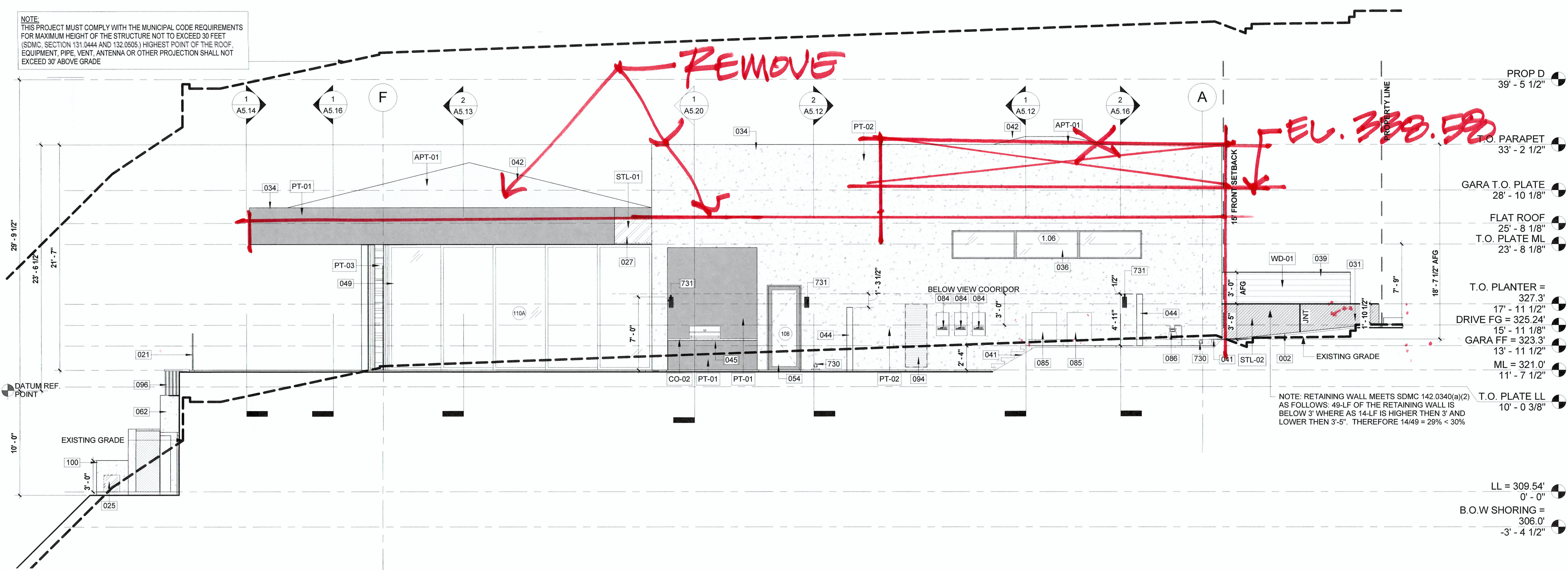
REVISIONS:	NO.	DATE	DESCRIPTION
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SCALE: As indicated  
ISSUE DATE: 05.24.19  
DRAWING BY: RP

SHEET TITLE: BUILDING ELEVATIONS  
7/23/19  
SHEET NO.: A4.11

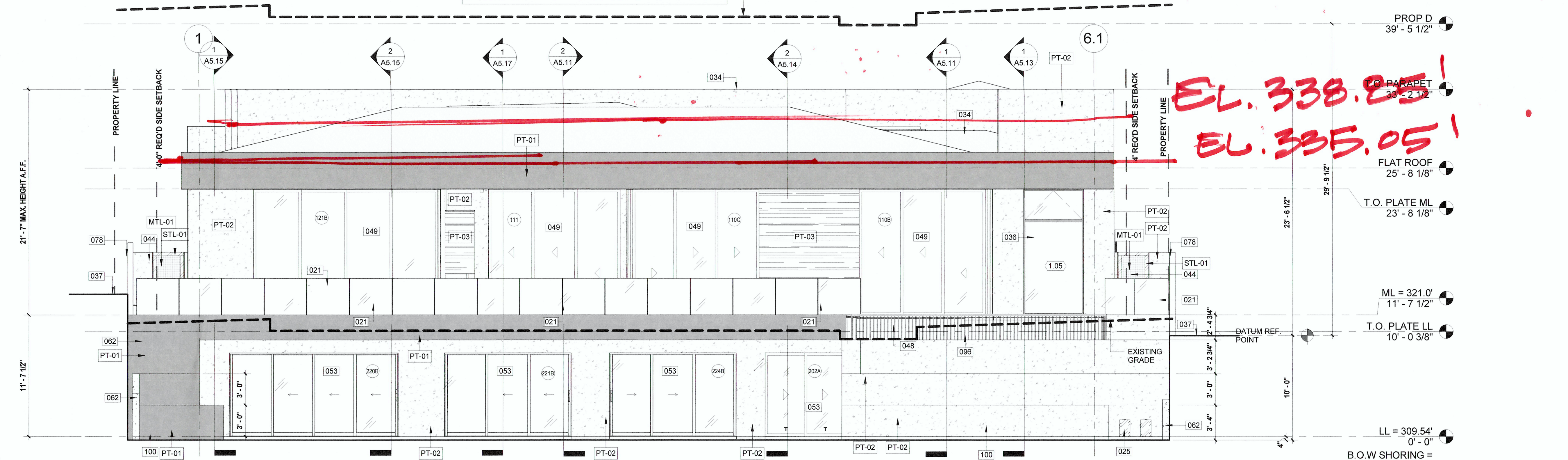


NOTE:  
THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS  
FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET  
(SDMC, SECTION 131.0444 AND 132.0505) HIGHEST POINT OF THE ROOF,  
EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT  
EXCEED 30' ABOVE GRADE



1 SOUTH ELEVATION  
3/16" = 1'-0"

NOTE:  
THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR  
MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET  
(SDMC, SECTION 131.0444 AND 132.0505) HIGHEST POINT OF THE ROOF,  
EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30' ABOVE GRADE



2 WEST ELEVATION  
3/16" = 1'-0"

NOTE: FOR PROP D LIMITATIONS, REFER TO BUILDING  
SECTION 1/A5.11 FOR CALCULATIONS

#### GENERAL EXTERIOR ELEVATION NOTES

A. ANY DISCREPANCIES IN DIMENSIONS SHALL BE  
BROUGHT TO THE ATTENTION OF THE ARCHITECT AND  
BE RESOLVED PRIOR TO PROCEEDING WITH THE  
WORK IN QUESTION. DO NOT SCALE DRAWINGS.  
B. REFER TO SITE PLAN | CIVIL DRAWINGS FOR SITE  
UTILITY INFORMATION  
C. REFER TO SHEETS A 5.11 THRU A 5.16 FOR BUILDING  
SECTIONS

#### EXTERIOR MATERIAL LEGEND

SYMBOL	DESCRIPTION
PT-01	SMOOTH STUCCO FINISH, TROCRON BLACK SW628, ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK- UP PRIOR TO START OF WORK
PT-02	SMOOTH CONCRETE BURNISHED STUCCO FINISH, LIGHT GREY, ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
PT-03	RAKED CONCRETE BURNISHED STUCCO FINISH, LIGHT GREY, ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
CO-02	POURED-IN-PLACE CONCRETE SMOOTH FINISH, ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK- UP PRIOR TO START OF WORK
WD-01	WOOD SIDING, MAKAMOTO FORESTRY, SHOU SUGI BAN, GENDAI SHUJI, NATURAL FINISH, ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
STL-01	HOT ROLLED STEEL PAINTED MAT FINISH, PT-01, ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
STL-02	NEOLITH COM. IRON SERIES, IRON GREY STAIN, SLAB FORMAT, 3MM TOP EXPOSED EDGES TO BE SEALED TO BRING OUT COLOR TO MATCH FACE OF TILE, ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
MTL-01	MONOLITHIC DESIGNER WOVEN METAL MESH, TECHNIA SERIES 8189 OR APPROVED EQUAL, FINISH TO MATCH STL-01, ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
APT-01	ASPHALT SHINGLE ROOF, CERTAINTED, LANDMARK (AR), COLOR PEWTERWOOD (UL 790 CLASS A FIRE RESISTANCE), CO-65, ESR-1366, ESR-1307, ASTM E108 CLASS A), ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
T-01	FLOOR TILE OVER RAY SLAB HARDSCAPE, REFER TO INTERIORS FOR SPECIFICATION
CH-01	LIGHT GREY CONCRETE HARDSCAPE WITH LIGHT TEXTURE EXPOSED AGGREGATE WITH VARYING COLOR, CONCRETE TO BE SEALED CLEAR MATT FINISH, ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK

#### KEYNOTES

002	CONCRETE PAVED DRIVEWAY
021	42" H. 1/2" THICK MONOLITHIC TEMPERED GLASS GUARDRAIL WITH RECESSED SHOE. REFER TO DETAILS PER HARDSCAPE PLAN
025	MECHANICAL CONDENSOR UNIT. REFER TO MECHANICA
027	BLACKENED STEEL WIDE FLANGE BEAM TRELLIS
031	BLACKENED STEEL TILE OVER 6" CMU WALL PLANTER. REFER TO EXTERIOR MATERIAL LEGEND
034	PARAPET
036	WINDOW SYSTEM. REFER TO WINDOW TYPES
037	EXISTING GRADE
039	8" CMU COURTYARD SCREEN WALL WITH WOOD SIDING FINISH EACH SIDE. MITER SIDING AT ALL CORNERS W/O
041	CONCRETE STEPS-ON-GRADE PER SITE DETAILS
042	ASPHALT TILE ROOF SYSTEM. REFER TO EXTERIOR MATERIAL LEGEND FOR SPECIFICATION AND ROOF DETAILS FOR ADDITIONAL INFORMATION
044	SIDE YARD GATE AND WALL UNDER A SEPARATE PERMIT. REFER TO ARCH. COVER SHEET, BUILDING SECTIONS AND EXTERIOR ELEVATIONS FOR HEIGHTS AND ADDITIONAL INFORMATION. NOTE: NO POOL ENCLOSURE GATE AND FENCE SHALL BE HIGHER THAN THE VIEW CORRIDOR EASEMENT
045	BUILT-IN BBQ AREA
048	POOL AND SPA UNDER SEPARATE PERMIT
049	SLIDING POCKET DOOR SYSTEM PER DOOR TYPES
053	SLIDING DOOR SYSTEM PER DOOR TYPES AND SCHEDULE
054	EXTERIOR HINGED DOOR SYSTEM PER DOOR TYPES AND SCHEDULE
062	CONCRETE RETAINING WALL UNDER SEPARATE SHORING PERMIT
078	6" W X 6'-0" H MAX. HEIGHT FROM NEW FINISH GRADE TO BE CONSTRUCTED WITH NO ENCROACHMENT ON ADJACENT PROPERTY TO BE UNDER SEPARATE PERMIT. REFER TO ARCHITECTURAL COVER SHEET CVR FOR ADDITIONAL INFORMATION
084	TANKLESS WATER HEATER BY RINNAI OR APPROVED EQUAL. REFER TO MANUFACTURER INSTALLATION INSTRUCTIONS AND FRAMING DETAIL FOR ADDITIONAL INFORMATION. REFER TO PLUMBING FOR ADDITIONAL INFORMATION
085	MSA PANEL PER ELECTRICAL DRAWINGS
086	GAS METER PER PLUMBING DRAWINGS
094	MECHANICAL GRILLE. REFER TO MECHANICAL AND STRUCTURAL FOR ADDITIONAL INFORMATION. NO LANDSCAPE IN FRONT OF GRILLES AS TO NOT BLOCK AIR FLOW
096	42" H. STEEL GUARDRAIL AT POOL AND SPA EDGE TROUGH PER ARCHITECTURAL SITE DETAILS AND EXTERIOR SPECIFICATIONS
100	CMU RETAINING PLANTER WALL UNDER A SEPARATE PERMIT. REFER TO COVER SHEET AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
730	COW TONGUE WALL SCUPPER OUTLET AND OVERFLOW. REFER TO PLUMBING AND CIVIL DWGS. FOR DRAINAGE AND ARCH. EXTERIOR SPECIFICATIONS FOR ADDITIONAL INFORMATION
731	WALL MOUNTED LIGHT FIXTURE - REFER TO ELECTRICAL PLAN & EXTERIOR SPECIFICATIONS

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THE PROJECT DESIGN MANAGER IN WRITING OF ANY PERCEIVED  
DISCREPANCIES OR CONFLICTS WITH THESE PLANS OR  
SPECIFICATIONS. NO CONTRACTOR SHALL PROCEED WITH THE WORK  
WITHOUT HAVING FIRST RECEIVED WRITTEN INSTRUCTIONS FROM THE  
PROJECT DESIGN MANAGER ADDRESSING SUCH DISCREPANCIES OR  
CONFLICT. D&M CONTRACTING, LLC IS THE LEGAL ENTITY REGISTERED  
WITH THE STATE OF CALIFORNIA AND ACTING AS THE CONSTRUCTION  
MANAGER FOR THE PROJECT IN CONJUNCTION WITH THE GENERAL  
CONTRACTOR WARDLE BUILDERS, LLC.

ALL QUESTIONS RELATING TO THE DESIGN OR CONSTRUCTIBILITY OF  
THIS PROJECT SHOULD BE FORWARDED TO THE PROJECT DESIGN  
MANAGER AND/OR CONSTRUCTION MANAGER OF BLUE HERON DESIGN  
BUILD AS LISTED BELOW

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### GENERAL EXTERIOR ELEVATION NOTES

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B. REFER TO SITE PLAN | CIVIL DRAWINGS FOR SITE UTILITY INFORMATION  
C. REFER TO SHEETS A 5.11 THRU A 5.16 FOR BUILDING SECTIONS

SYMBOL	DESCRIPTION
PT-01	SMOOTH STUCCO FINISH; TIGRON BLACK SW828 ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
PT-02	SMOOTH CONCRETE BURNISHED STUCCO FINISH; LIGHT GREY ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
PT-03	RANKED CONCRETE BURNISHED STUCCO FINISH; LIGHT GREY ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
CO-02	POURED-IN-PLACE CONCRETE SMOOTH FINISH; ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
WO-01	WOOD SANDING; NAKAMOTO FORMSHEET; SHOU SUGI BAN; GARDEN SLAB MAT 7'x10' FINISH; AMERITON MANGONY, 1/8" SLP LAM, ASTM E84 FIRE RESISTANT; TESTED ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
STL-01	HOT ROLLED STEEL PAINTED MAT FINISH PT. 01 ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
STL-02	NEOLITH COM. IRON SERIES; IRON GREY STAIN; SEAL FORMAT 3MM; TOP-EXPOSED EDGES TO BE SEALED TO BRING OUT COLOR TO MATCH FACE OF TILE ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
MTL-01	MICHOULS APPROVED WOVEN MERAL MESH TECHN SERIES B150 or EQUIV. CLIENT TO MATCH WITH STL-01 ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
APT-01	ASPHALT SHINGLE ROOF; CERTAINTED LANDMARK (AR) COLOR PENTROFLEX (UL); 15'x15'x1/2" MIN. RESISTANCE: ICC-ES ESR-1369, ESR-357; ASTM E108 CLASS A; ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
T-01	FLOOR TILE OVER RAT SLAB HARDSCAPE; REFER TO INTERIORS FOR SPECIFICATION
CH-01	LIGHT GREY CONCRETE HARDSCAPE WITH LIGHT TEXTURE EXPOSED AGGREGATE WITH IMPRINTING COLOR; CONCRETE TO BE SEALED CLEAR MATT FINISH ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK

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SHEET TITLE: BUILDING ELEVATIONS

7/23/19

SHEET NO.: A4.13

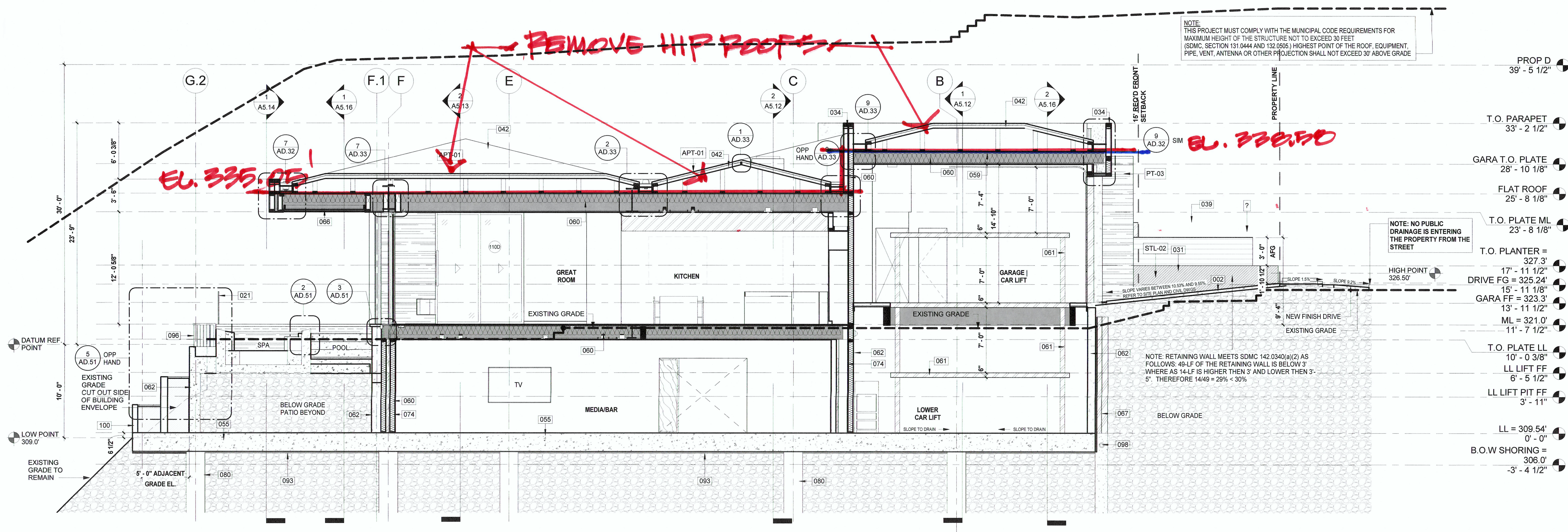
## 1 COURTYARD EAST ELEVATION

031	BLACKENED STEEL TILE OVER 6" CMU WALL PLANTER. REFER TO EXTERIOR MATERIAL LEGEND
032	CUSTOM WOOD GARAGE DOOR TO MATCH WOOD SIDING FINISH
034	PARAPET
036	WINDOW SYSTEM. REFER TO WINDOW TYPES
038	PROPOSED GRADE
039	8" CMU COURTYARD SCREEN WALL WITH WOOD SIDING FINISH EACH SIDE. MITER SIDING AT ALL CORNERS W.O.
041	CONCRETE STEPS-ON-GRADE PER SITE DETAILS
044	SIDE YARD GATE AND WALL UNDER A SEPARATE PERMIT REFER TO ARCH. COVER SHEET BUILDING SECTIONS AND EXTERIOR ELEVATIONS FOR HEIGHTS AND ADDITIONAL INFORMATION NOTE: NO POOL ENCLOSURE GATE AND FENCE SHALL BE HIGHER THAN THE VIEW CORRIDOR EASEMENT
057	CONCRETE HARDSCAPE PER HARDSCAPE PLAN
063	GUARDRAIL AT LIGHT WELL. REFER TO
078	6" W X 6'-0" H MAX. HEIGHT FROM NEW FINISH GRADE TO BE CONSTRUCTED WITH NO ENCRoACHMENT ON ADJACENT PROPERTY TO BE UNDER SEPARATE PERMIT. REFER TO ARCHITECTURAL COVER SHEET C/V FOR ADDITIONAL INFORMATION
088	PIVOT DOOR PER EXTERIOR SPECIFICATIONS AND DOOR SCHEDULE. COORDINATE LOCATION OF PIVOT IN CONCRETE SLAB PRIOR TO SLAB FOUNDATION POUR
730	COW TONGUE WALL NOO SCUPPER OUTLET AND OVERFLOW. REFER TO PLUMBING AND CIVIL DETAILS FOR DRAINAGE AND ARCH. EXTERIOR SPECIFICATIONS FOR ADDITIONAL INFORMATION
732	METAL GRATE PER SITE DETAILS

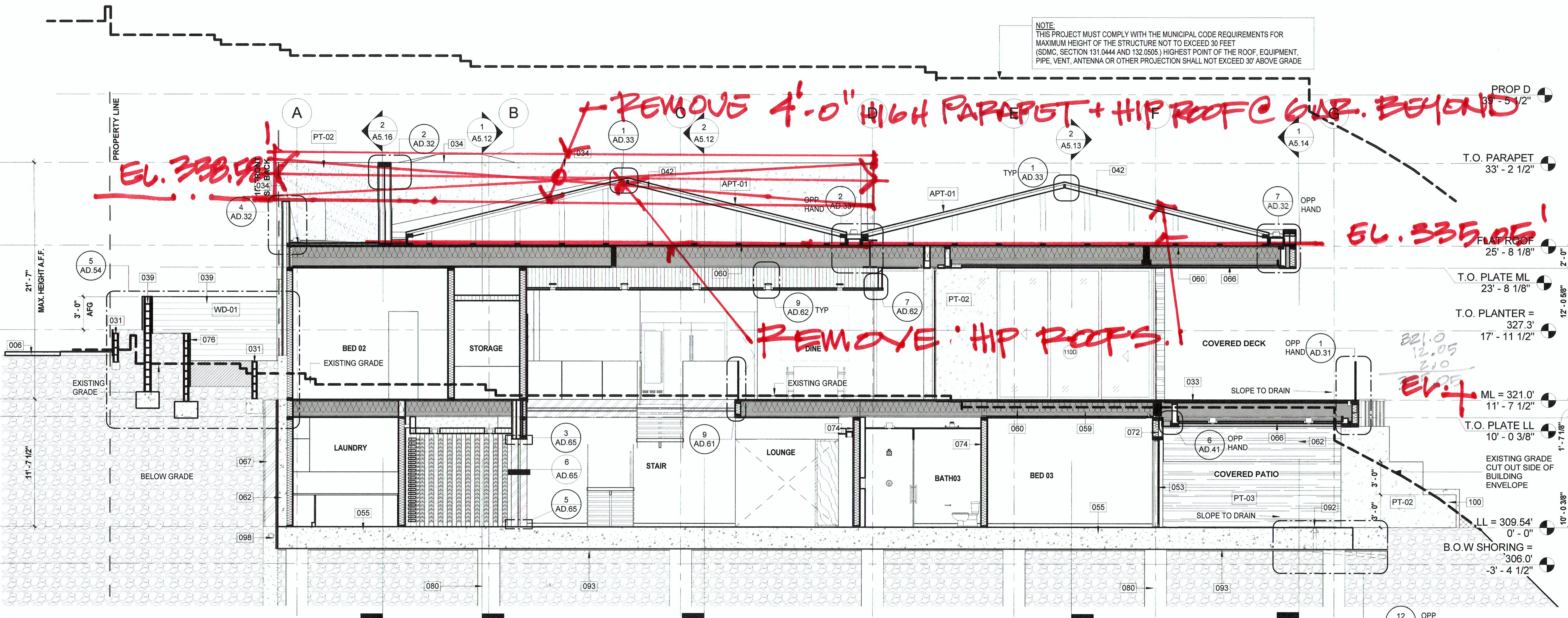
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7/23/19  
SHEET NO.: A4.13





1 BUILDING SECTION EW 01  
3/16" = 1'-0"



2 BUILDING SECTION EW 02  
3/16" = 1'-0"

NOTE: FOR PROP D LIMITATIONS, REFER TO BUILDING SECTION 1/A5.11 FOR CALCULATIONS

KEYNOTES		
002	CONCRETE PAVED DRIVEWAY	
006	EXISTING SIDEWALK TO BE REMOVED AND RECONSTRUCTED ALONG PROPERTY FRONTAGE PER CURRENT CITY STANDARDS. NEW SIDEWALK SHALL MAINTAIN EXISTING FINISH GRADES	
021	42" H. 1/2" THICK MONOLITHIC TEMPERED GLASS GUARDRAIL WITH RECESSED SHOE. REFER TO DETAILS PER HARDSCAPE PLAN	
031	BLACKENED STEEL TILE OVER 6" CMU WALL PLANTER. REFER TO EXTERIOR MATERIAL LEGEND	
033	COVERED DECK	
034	PARAPET	
039	8" CMU COURTYARD SCREEN WALL WITH WOOD SIDING FINISH EACH SIDE. MITER SIDING AT ALL CORNERS W.O.	
042	ASPHALT TILE ROOF SYSTEM. REFER TO EXTERIOR MATERIAL LEGEND FOR SPECIFICATION AND ROOF DETAILS FOR ADDITIONAL INFORMATION	
053	SLIDING DOOR SYSTEM PER DOOR TYPES AND SCHEDULE	
055	CONCRETE SLAB FOUNDATION PER STRUCTURAL	
059	WOOD TRUSS SYSTEM PER STRUCTURAL	
060	BATT INSULATION	
061	CAR HYDRAULIC POST LIFT SYSTEM	
062	CONCRETE RETAINING WALL UNDER SEPARATE SHORING PERMIT	
066	EXTERIOR WOOD SIDING SOFFIT OVER 5/8" TONGUE & GROOVE NONCOMBUSTIBLE PER ASTM E136 FIREGUARD C SOFFIT BOARD OR APPROVED EQUAL	
067	SHORING PILES UNDER SEPARATE PERMIT	
072	TYPICAL EXTERIOR WALL CONSTRUCTION	
074	TYPICAL INTERIOR WALL CONSTRUCTION	
076	6" CMU PLANTER WITH WOOD SIDING FINISH EACH SIDE	
080	DRILLED CAST-IN-PLACE CONCRETE PILE. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION	
092	LINEAR DRAIN. REFER TO ARCHITECTURAL DETAILS, PLUMBING AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION	
093	SAND BED UNDER VAPOR BARRIER SYSTEM	
096	42" H. STEEL GUARDRAIL AT POOL AND SPA EDGE TROUGH PER ARCHITECTURAL SITE DETAILS AND EXTERIOR SPECIFICATIONS	
098	4" DIA. PERFORATED SCHEDULED 40 PVC DRAIN PIPE WRAPPED IN GEOFABRIC. SLOPE 1/4" PER FOOT TO COLLECTION BASIN. REFER TO CIVIL FOR STORM DRAIN CONNECTION AND LOCATION	
100	CMU RETAINING PLANTER WALL UNDER A SEPARATE PERMIT. REFER TO COVER SHEET AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.	

blue heron  
DESIGN + BUILD

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ALL QUESTIONS RELATING TO THE DESIGN OR CONSTRUCTION OF THIS PROJECT SHOULD BE FORWARDED TO THE PROJECT DESIGN MANAGER AND / OR CONSTRUCTION MANAGER OF BLUE HERON DESIGN BUILD AS LISTED BELOW

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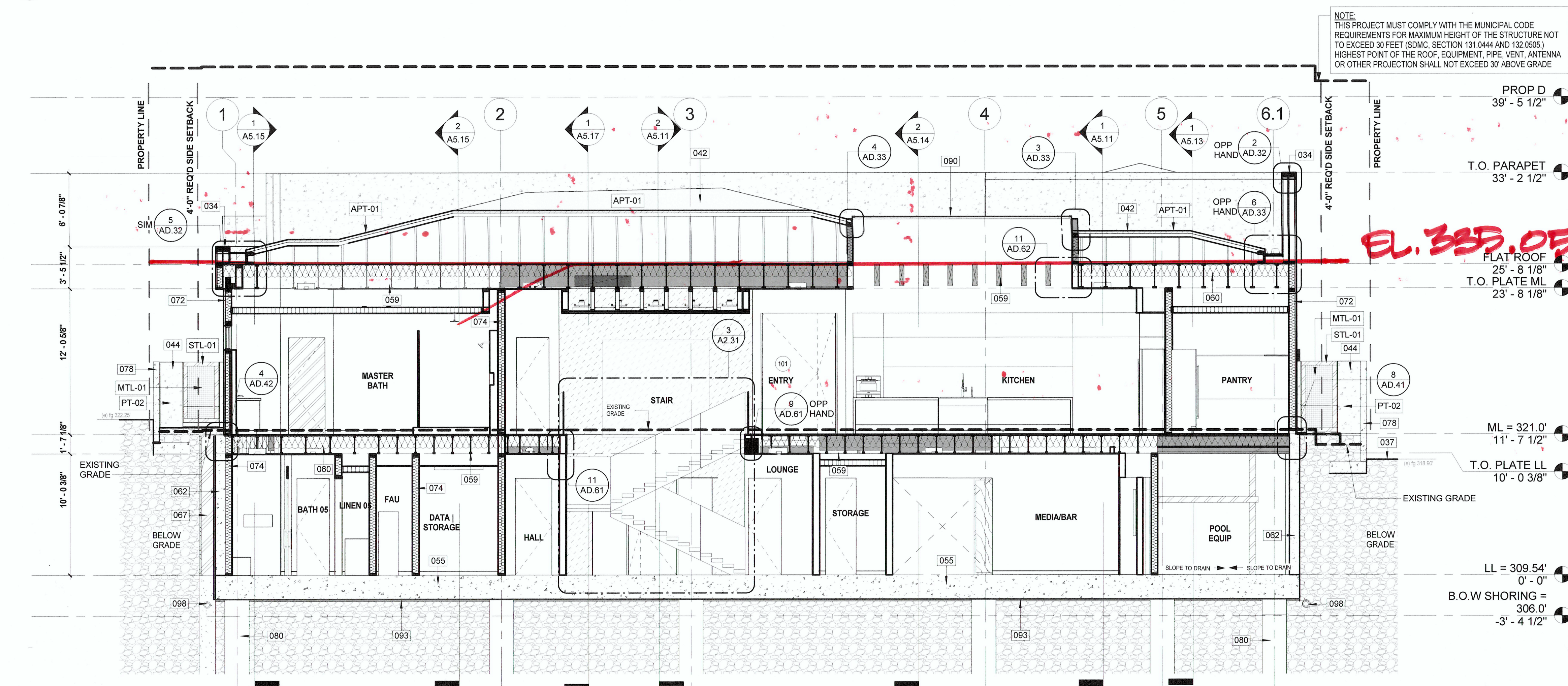
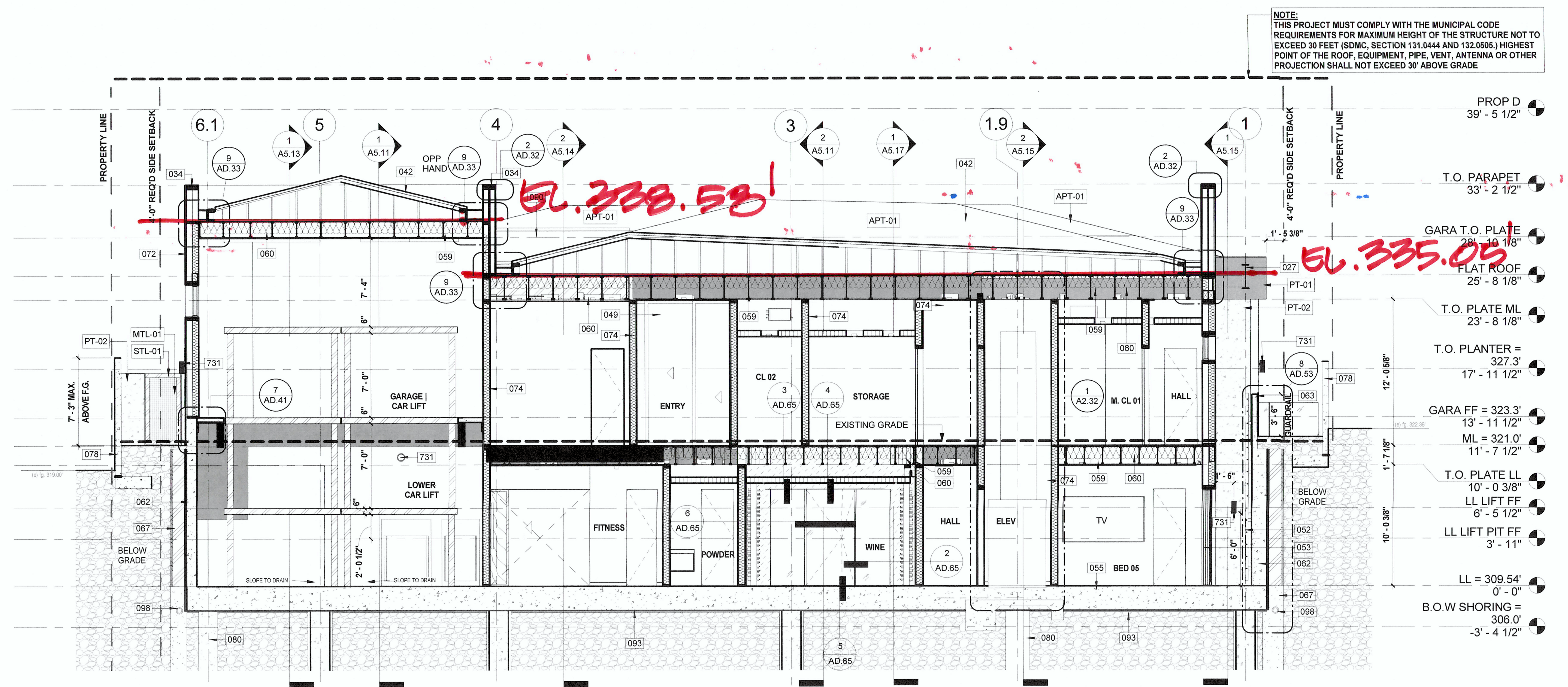
REVISIONS:

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









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SHEET TITLE: BUILDING SECTIONS  
7/23/19  
A5.11





NOTE: FOR PROP D LIMITATIONS, REFER TO BUILDING SECTION 1/A5.11 FOR CALCULATIONS

EXTERIOR MATERIAL LEGEND	
SYMBOL	DESCRIPTION
	PT-01 SMOOTH STUCCO FINISH. TACON BROWN BLACK SW6258 ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
	PT-02 SMOOTH CONCRETE BURNISHED STUCCO FINISH. LIGHT GREY ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
	PT-03 RAKED CONCRETE BURNISHED STUCCO FINISH. LIGHT GREY ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
	CO-02 POURED-IN-PLACE CONCRETE SMOOTH FINISH ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
	WO-01 WOOD SIDING. NAKAMOTO FORESTRY, SHOU SUGI BAN, GENDAI SHUN KUMI M1715. FINISH ARMSTRONGTROMBARDY, 1/8" SHAP PL. ASH ENR FIRE RESISTANT TESTED. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
	STL-01 HOT ROLLED STEEL. PAINTED MATT FINISH. PT-01 ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
	STL-02 NEOLITH CONCRE SOLID SERIES. IRON GREY STAIN, SLAB FORM. 3MM TOP EXPOSED EDGES TO BE SEALED COLOR BRING OUT COLOR TO MATCH THE COLOR OF THE ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
	MTL-01 MONOLITHS APPROVED WOVEN METAL MESH. SERIES 8180 OR EQUIVALENT. CLIENT TO MATCH WITH STL-01 ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
	APT-01 ASPHALT SINGLE ROLL. CERTAINTED, LANDMARK (AR) COLOR FENSTERHOOD (UL THRU GLASS) TO BE SEAM-MAINT. RESISTANCE. (CS ESR-1898 ESR-3637. ASH ENR CLASS A) ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
	T-01 FLOOR TILE OVER RST SLAB HARDSCAPE. REFER TO INTERIORS FOR SPECIFICATION
	CH-01 LIGHT GREY CONCRETE HARDSCAPE WITH LIGHT TEXTURE. EXPOSED AGGREGATE WITH VARYING COLOR. CONCRETE TO BE SEALED TO BE SEAM-MAINT. FINISH. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK

KEYNOTES	
027	BLACKENED STEEL WIDE FLANGE BEAM
034	TRELLIS
037	EXISTING GRADE
042	ASPHALT TILE ROOF SYSTEM. REFER TO EXTERIOR MATERIAL LEGEND FOR SPECIFICATION AND ROOF DETAILS FOR ADDITIONAL INFORMATION
044	SIDE YARD GATE AND WALL UNDER A SEPARATE PERMIT REFER TO ARCH. COVER SHEET BUILDING SECTIONS AND EXTERIOR ELEVATIONS FOR HEIGHTS AND ADDITIONAL INFORMATION. NOTE: NO POOL ENCLOSURE GATE AND FENCE SHALL BE HIGHER THAN THE VIEW CORRIDOR EASEMENT
049	SLIDING POCKET DOOR SYSTEM PER DOOR TYPES
052	ACCESS LADDER TO LOWER LEVEL
053	SLIDING DOOR SYSTEM PER DOOR TYPES AND SCHEDULE
055	CONCRETE SLAB FOUNDATION PER STRUCTURAL
059	WOOD TRUSS SYSTEM PER STRUCTURAL
060	BATT INSULATION
062	CONCRETE RETAINING WALL UNDER SEPARATE SHORING PERMIT
063	GUARDRAIL AT LIGHT WELL. REFER TO
067	SHORING PILES UNDER SEPARATE PERMIT
072	TYPICAL EXTERIOR WALL CONSTRUCTION
074	TYPICAL EXTERIOR WALL CONSTRUCTION
078	6" W X 6" H MAX. HEIGHT FROM NEW FINISH GRADE TO BE CONSTRUCTED WITH NO ENCROACHMENT ON ADJACENT PROPERTY TO BE UNDER SEPARATE PERMIT. REFER TO ARCHITECTURAL COVER SHEET CVR FOR ADDITIONAL INFORMATION.
080	DRILLED CAST-IN-PLACE CONCRETE PILE. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION
090	CUSTOM SKYLIGHT ON PREMANUFACTURED CURB. REFER TO ROOF DETAILS FOR DESIGN INTENT. SKYLIGHT IS TO BE INCLUDED AS PART OF DEFERRED SUBMITTAL PACKAGE
093	SAND BED UNDER VAPOR BARRIER SYSTEM PER STRUCTURAL
098	4" DIA. PERFORATED SCHEDULED 40 PVC DRAIN PIPE WRAPPED IN GEOBARF. SLOPE 1/4" PER FOOT TO COLLECTION BASIN. REFER TO CIVIL FOR STORM DRAIN CONNECTION AND LOCATION
731	WALL MOUNTED LIGHT FIXTURE - REFER TO ELECTRICAL PLAN & EXTERIOR SPECIFICATION



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IT IS THE RESPONSIBILITY OF THE GENERAL AND EACH SUBCONTRACTOR, PRIOR TO OR DURING CONSTRUCTION, TO NOTIFY THE PROJECT ARCHITECT OF ANY PERMITTED OR UNPERMITTED DESCRIBEDS OR CONFLICTS WITH THESE PLANS OR SPECIFICATIONS, AND TO OBTAIN WRITTEN CONSENT FROM THE WORK WITHOUT HAVING FIRST RECEIVED WRITTEN INSTRUCTIONS FROM THE PROJECT ARCHITECT. ANY CONFLICTS OR CONFLICTS IN CONFLICT WITH CONFLICT CONTRACTING, LLC IS THE LEGAL ENTITY REGISTERED WITH THE STATE OF NEVADA AND IS THE PROJECT ARCHITECT'S PROJECT MANAGER FOR THE PROJECT IN CONCERT WITH THE GENERAL.

ALL QUESTIONS RELATING TO THE DESIGN OR CONSTRUCTIBILITY OF THIS PROJECT SHOULD BE FORWARDED TO THE PROJECT DESIGNER OR PROJECT ARCHITECT MANAGER OR BLUE HERON DESIGN BUILD AS LISTED BELOW:

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BUILDING DEPARTMENT SET

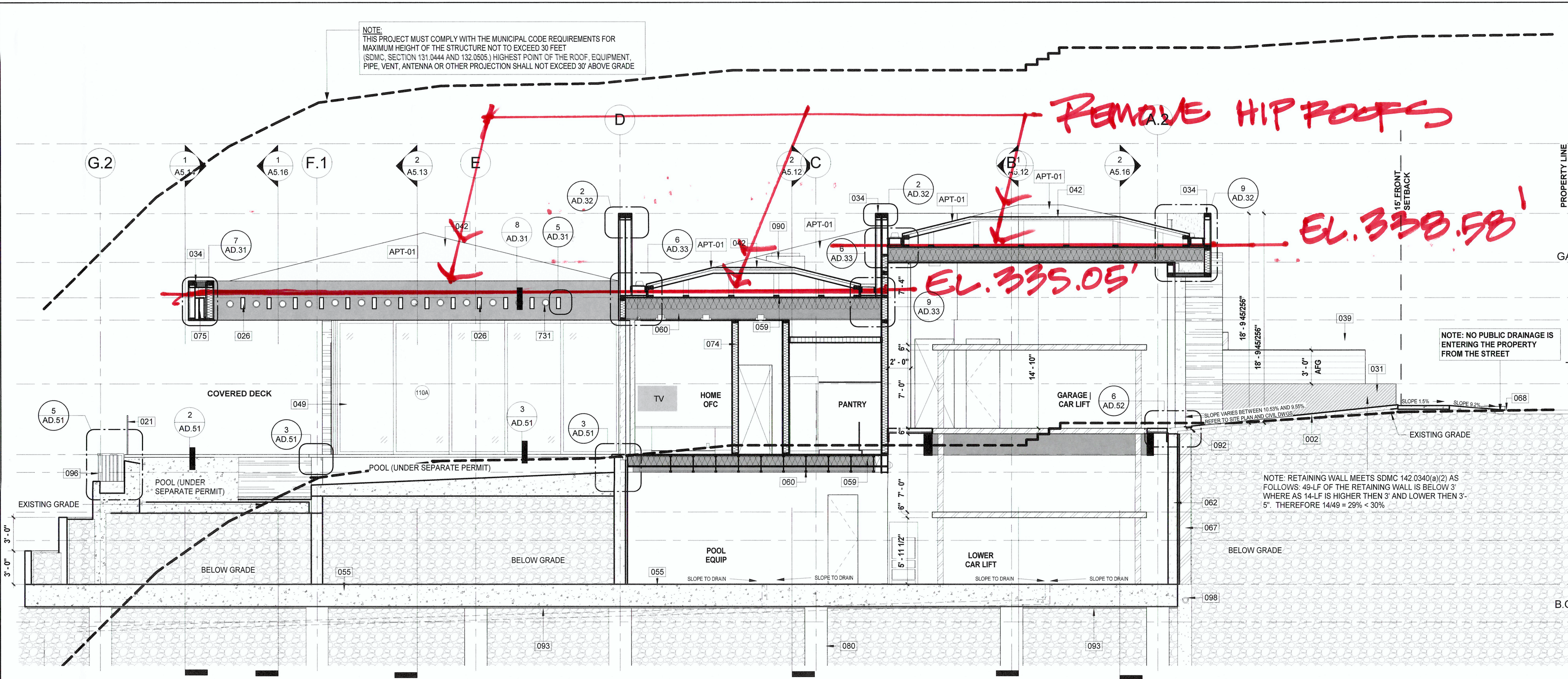
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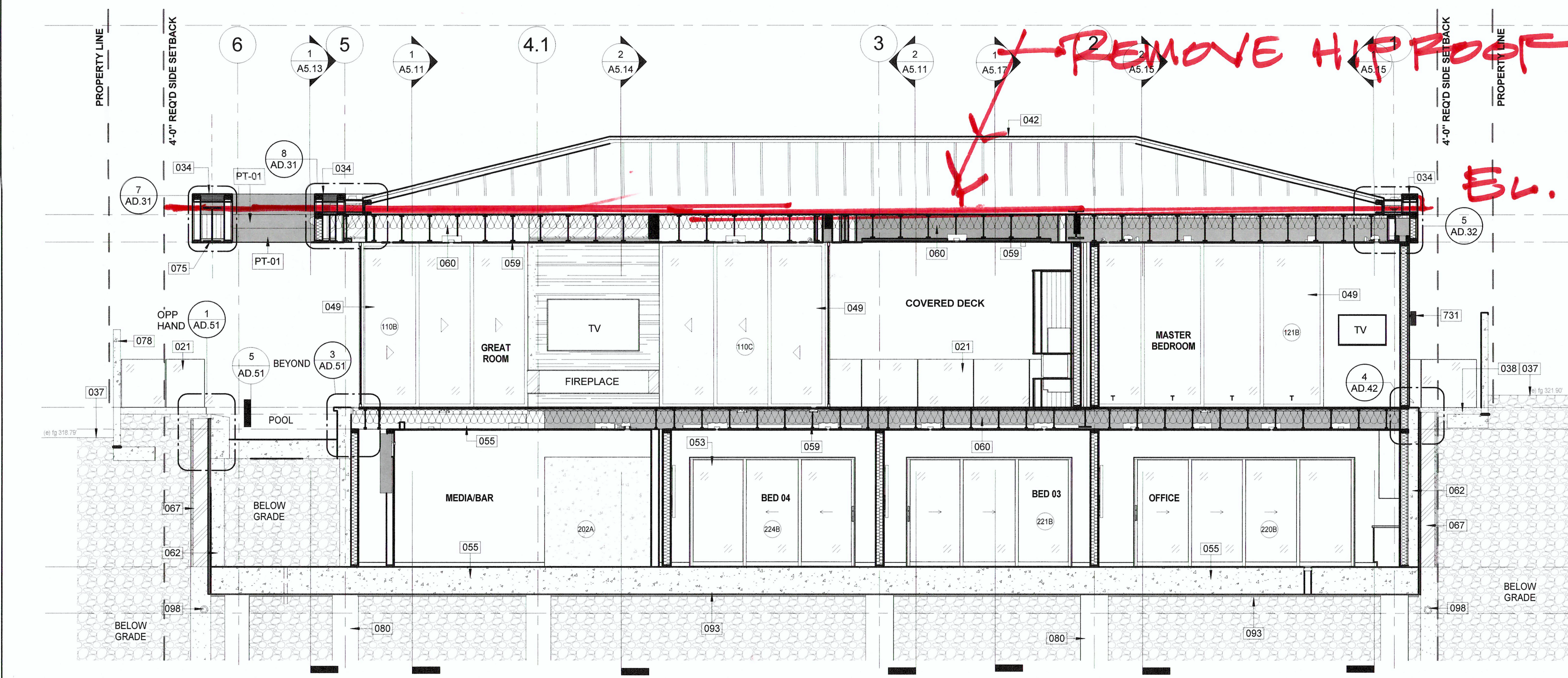
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SHEET TITLE: BUILDING SECTIONS  
7/23/19  
SHEET NO. A5.12





1 BUILDING SECTION EW 03  
3/16" = 1'-0"



2 BUILDING SECTION NS 03  
3/16" = 1'-0"

NOTE: FOR PROP D LIMITATIONS, REFER TO BUILDING SECTION 1/A5.11 FOR CALCULATIONS

EXTERIOR MATERIAL LEGEND	
SYMBOL	DESCRIPTION
PT-01	SMOOTH STUCCO FINISH, TRICORN BLACK SW6208. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK.
PT-02	SMOOTH CONCRETE BURNISHED STUCCO FINISH. LIGHT GREY. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK.
PT-03	RAKED CONCRETE BURNISHED STUCCO FINISH, LIGHT GREY. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK.
CO-02	POURED-IN-PLACE CONCRETE SMOOTH FINISH. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK.
WD-01	WOOD SIDING, NAKAMOTO FORESTRY, SHOU SUGI BAN, GORDA SHIP NMT175, FINISH ARMSTRONG MAHOGANY, 5/8" SHIP LAP, ASTM B44 FIRE RESISTANT TESTED. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK.
STL-01	HOT ROLLED STEEL PAINTED MAT FINISH, PT-01. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK.
STL-02	NOULITH CON. IRON SERIES, IRON GREY STAIN, SLAB FORMAT, 3/16" TOP PROPOSED DECK TO BE SEALED TO BRING OUT COLOR TO MATCH FACE OF TILE. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK.
MTL-01	MONOLITHIC DESIGNER WOVEN MESH, MESH TECHNA SERIES 8199 OR APPROVED EQUAL FINISH TO MATCH STL-01. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK.
APT-01	ASPHALT SHINGLE ROOF, CERTAINTEED, LANDMARK (AR), COLOR REVERWOOD (UL 790 CLASS A FIRE RESISTANCE, ICC-ES ESR-1989, ESR-1937, ASTM E198 CLASS A). ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK.
T-01	FLOOR TILE OVER RAY SLAB HARDSCAPE. REFER TO INTERIORS FOR SPECIFICATION.
CH-01	LIGHT GREY CONCRETE HARDSCAPE WITH LIGHT TEXTURE EXPOSED AGGREGATE WITH VARYING COLOR. CONCRETE TO BE SEALED CLEAR MAT FINISH. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK.

KEYNOTES	
002	CONCRETE PAVED DRIVEWAY
021	42" H. 1/2" THICK MONOLITHIC TEMPERED GLASS GUARDRAIL WITH RECESSED SHOE. REFER TO DETAILS PER HARDSCAPE PLAN
026	TRELLIS 1-COAT STUCCO FINISH PER EXTERIOR MATERIAL LEGEND
031	BLACKENED STEEL TILE OVER 6" CMU WALL PLANTER. REFER TO EXTERIOR MATERIAL LEGEND
034	PARAPET
037	EXISTING GRADE
038	PROPOSED GRADE
039	8" CMU COURTYARD SCREEN WALL WITH WOOD SIDING FINISH EACH SIDE. MITER SIDING AT ALL CORNERS W.O.
042	ASPHALT TILE ROOF SYSTEM. REFER TO EXTERIOR MATERIAL LEGEND FOR SPECIFICATION AND ROOF DETAILS FOR ADDITIONAL INFORMATION
049	SLIDING POCKET DOOR SYSTEM PER DOOR TYPES
053	SLIDING DOOR SYSTEM PER DOOR TYPES AND SCHEDULE
055	CONCRETE SLAB FOUNDATION PER STRUCTURAL
059	WOOD TRUSS SYSTEM PER STRUCTURAL
060	BATT INSULATION
062	CONCRETE RETAINING WALL UNDER SEPARATE SHORING PERMIT
067	SHORING PILES UNDER SEPARATE PERMIT
068	REFER TO CIVIL FOR ALL SITE DRAINAGE
074	TYPICAL INTERIOR WALL CONSTRUCTION
075	BEAM - REFER TO STRUCTURAL PLANS
078	6" W X 6'-0" H MAX. HEIGHT FROM NEW FINISH GRADE TO BE CONSTRUCTED WITH NO ENCROACHMENT ON ADJACENT PROPERTY TO BE UNDER SEPARATE PERMIT. REFER TO ARCHITECTURAL COVER SHEET CVR FOR ADDITIONAL INFORMATION.
080	DRILLED CAST-IN-PLACE CONCRETE PILE. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION
090	CUSTOM SKYLIGHT ON PREMANUFACTURED CURB. REFER TO ROOF DETAILS FOR DESIGN INTENT. SKYLIGHT TO BE INCLUDED AS PART OF DEFERRED SUBMITTAL PACKAGE
092	LINEAR DRAIN. REFER TO ARCHITECTURAL DETAILS, PLUMBING AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
093	SAND BED UNDER VAPOR BARRIER SYSTEM PER STRUCTURAL
096	42" H. STEEL GUARDRAIL AT POOL AND SPA EDGE TROUGH PER ARCHITECTURAL SITE DETAILS AND EXTERIOR SPECIFICATIONS
098	4" DIA. PERFORATED SCHEDULED 40 PVC DRAIN PIPE WRAPPED IN GEOTEXTILE, SLOPE 1/4" PER FOOT TO COLLECTION BASIN. REFER TO CIVIL FOR STORM DRAIN CONNECTION AND LOCATION
731	WALL MOUNTED LIGHT FIXTURE - REFER TO ELECTRICAL PLAN & EXTERIOR SPECIFICATIONS

blue heron  
DESIGN + BUILD

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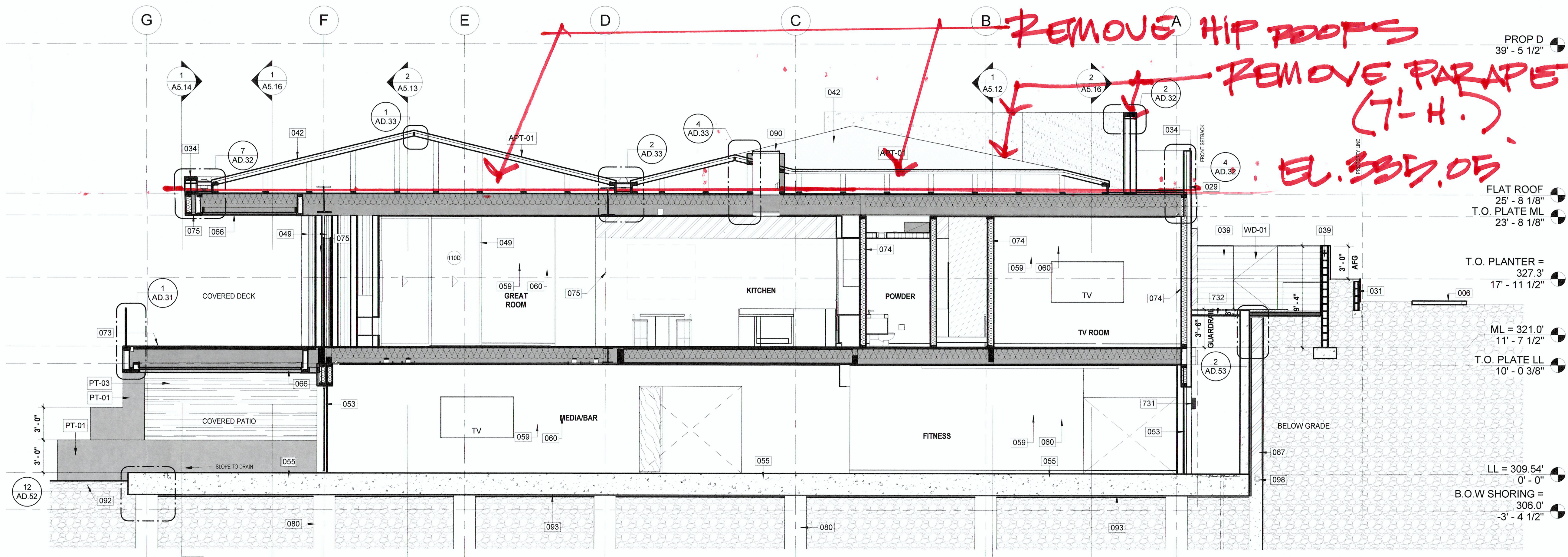
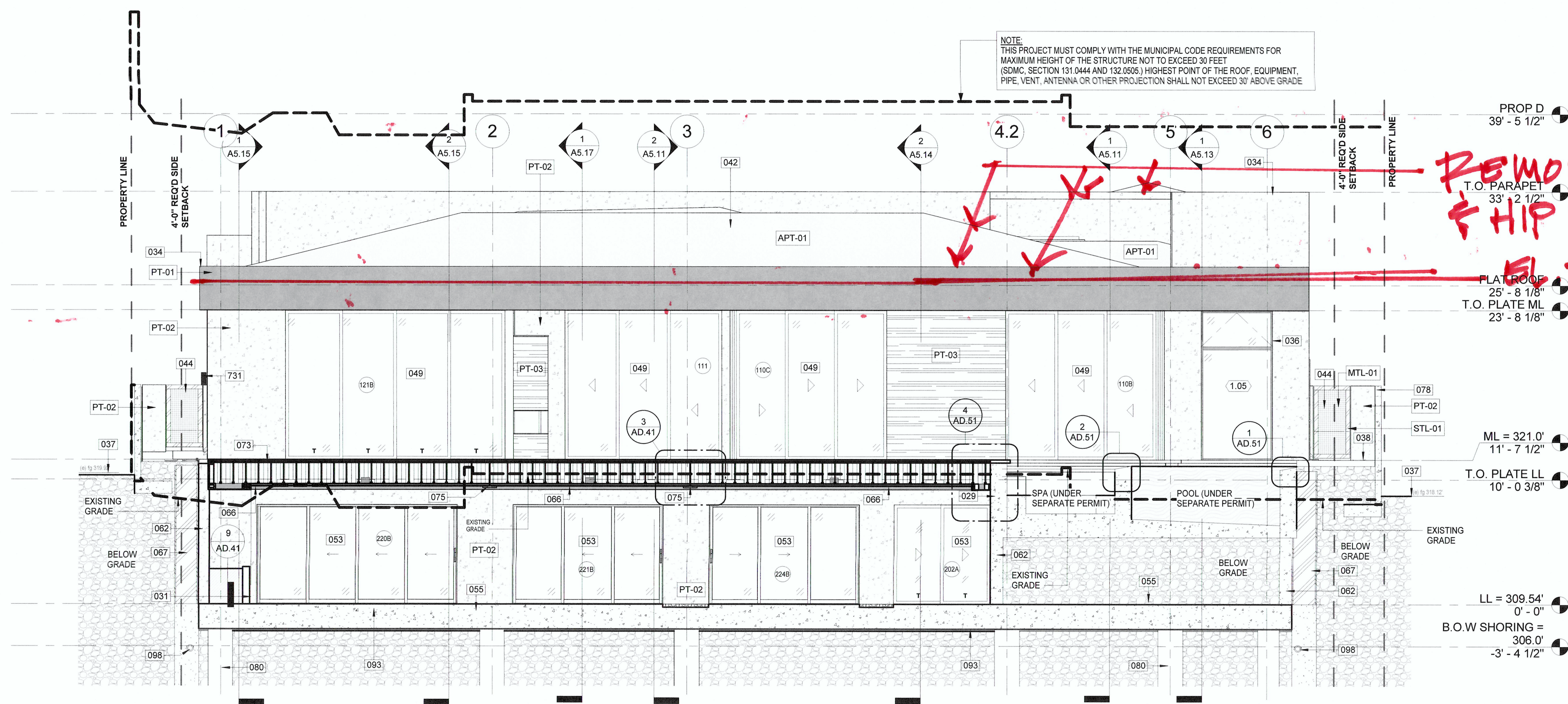
BUILDING DEPARTMENT SET

REVISIONS:	NO.	DATE	DESCRIPTION
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ISSUE DATE: 05.24.19  
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SHEET TITLE: BUILDING SECTIONS  
7/23/19  
SHEET NO: A5.13





NOTE: FOR PROP D LIMITATIONS, REFER TO BUILDING SECTION 1/A5.11 FOR CALCULATIONS	
EXTERIOR MATERIAL LEGEND	
SYMBOL	DESCRIPTION
PT-01	SMOOTH STUCCO FINISH, TROCOIN BLACK SW9288 ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
PT-02	SMOOTH CONCRETE BURNISHED STUCCO FINISH, LIGHT GREY, ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
PT-03	RAINED CONCRETE BURNISHED STUCCO FINISH, LIGHT GREY, ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
PT-04	COURED-IN-PLACE CONCRETE SMOOTH FINISH ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
PT-05	WOOD SHOWN IN PHOTO TO FORESTRY, SHUG SUGI BAK, 100% NATURAL, 100% ALUMINUM FINISH RESISTANT TESTED, ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
ST-01	HOT ROLLED STEEL, PAINTED MAT FINISH, PT-01 ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
ST-02	NEOLITH COM, IRON SERIES, IRON GREY STAIN, SLAB FORM, 1MM TOP EXPOSED EDGES TO BE SEALED TO BRING COLOR TO MATCH FACE OF THE ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
MT-01	MICRODOL DESIGNER OWNED METAL, MESH TECHNIQUE SERIES B195 OR APPROVED ALTERNATE, FINISH TO MATCH ST-01 ARCHITECT TO START OF WORK
APT-01	ASPHALT SHINGLE ROOF, CERTAINTED LUMACOR (AM), COLOR PEPPERWOOD, UN7, 70% CLASS A FIRE RESISTANT, 100% ASH RESISTANT, 100% ACTV 1195 CLASS A1 ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
T-01	FLOOR TILE OVER RST SLAB HARDWARE: PART FOR INTERIORS FOR SPECIFICATION
CR-01	LIGHT GREY CONCRETE HARDWARE WITH LIGHT TIGHTLY TIGHTLY APPLIED GROUT WITH LIGHTING, COLOR, CONCRETE TO BE SEALED CLEAR MAT FINISH, ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK

KEYNOTES	
006	EXISTING SIDEWALK TO BE REMOVED AND RECONSTRUCTED ALONG PROPERTY FRONTAGE PER CURRENT CITY STANDARDS. NEW SIDEWALK SHALL MAINTAIN EXISTING FINISH GRADES
029	POURED-IN-PLACE CONCRETE EXTERIOR WALL. REFER TO EXTERIOR ELEVATIONS FOR FINISH
031	BLACKENED STEEL TILE OVER 6" CMU WALL PLANTER. REFER TO EXTERIOR MATERIAL LEGEND
034	PARAPET
036	WINDOW SYSTEM. REFER TO WINDOW TYPES
037	EXISTING GRADE
038	PROPOSED GRADE
039	8" CMU COURTYARD SCREEN WALL WITH WOOD SIDING FINISH EACH SIDE. MITER SIDING AT ALL CORNERS W/O
042	ASPHALT TILE ROOF SYSTEM. REFER TO EXTERIOR MATERIAL LEGEND FOR SPECIFICATION AND ROOF DETAILS FOR ADDITIONAL INFORMATION
044	SIDE YARD GATE AND WALL UNDER A SEPARATE PERMIT REFER TO ARCH. COVER SHEET BUILDING SECTIONS AND EXTERIOR ELEVATIONS FOR HEIGHTS AND ADDITIONAL INFORMATION NOTE: NO POOL ENCLOSURE GATE AND FENCE SHALL BE HIGHER THAN THE VIEW CORRIDOR EASEMENT
049	SLIDING POCKET DOOR SYSTEM PER DOOR TYPES
053	SLIDING DOOR SYSTEM PER DOOR TYPES AND SCHEDULE
055	CONCRETE SLAB FOUNDATION PER STRUCTURAL
059	WOOD TRUSS SYSTEM PER STRUCTURAL
060	BATT INSULATION
062	CONCRETE RETAINING WALL UNDER SEPARATE SHORING PERMIT
066	EXTERIOR WOOD SIDING SOFFIT OVER 8" TROUGH/CHOCK NONCOMBUSTIBLE PER ASTM E136 FIREGUARD C SOFFIT BOARD OR APPROVED EQUAL
067	SHORING PILES UNDER SEPARATE PERMIT
073	TYPICAL DECK CONSTRUCTION
074	TYPICAL INTERIOR WALL CONSTRUCTION
075	BEAM - REFER TO STRUCTURAL PLANS
078	6" W X 6'-0" H MAX. HEIGHT FROM NEW FINISH GRADE TO BE CONSTRUCTED WITH NO ENCROACHMENT ON ADJACENT PROPERTY TO BE UNDER SEPARATE PERMIT. REFER TO ARCHITECTURAL COVER SHEET CVR FOR ADDITIONAL INFORMATION.
080	DRILLED CAST-IN-PLACE CONCRETE PILE. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION
090	CUSTOM SKYLIGHT ON PREMANUFACTURED CURB. REFER TO ROOF DETAILS FOR DESIGN INTENT. SKYLIGHT TO BE INCLUDED AS PART OF DEFERRED SUBMITTAL PACKAGE
092	LINER DRAIN. REFER TO ARCHITECTURAL DETAILS, PLUMBING AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
093	SAND BED UNDER VAPOR BARRIER SYSTEM PER STRUCTURAL
098	4" DIA. PERFORATED SCHEDULED 40 PVC DRAIN PIPE WRAPPED IN GEOBARIC. SLOPE 1/4" PER FOOT TO COLLECTION BASIN. REFER TO CIVIL FOR STORM DRAIN CONNECTION AND LOCATION
731	WALL MOUNTED LIGHT FIXTURE - REFER TO ELECTRICAL PLAN & EXTERIOR SPECIFICATIONS
732	METAL GRATE PER SITE DETAILS

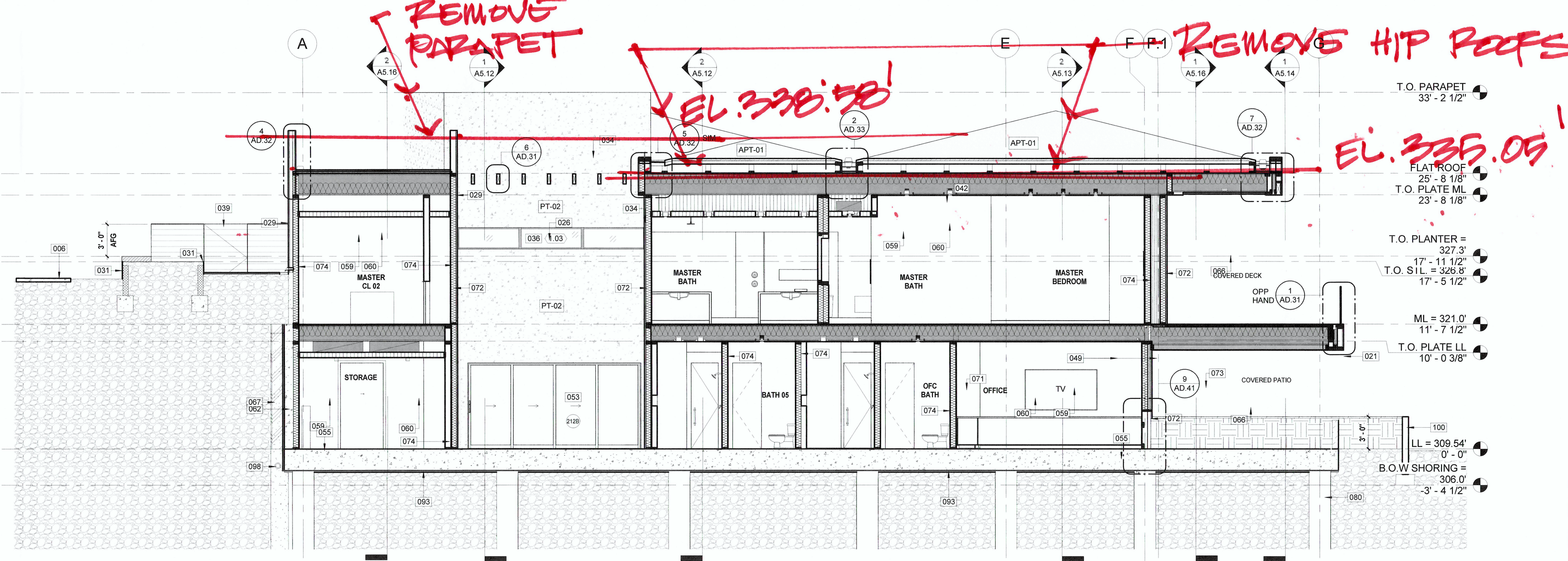
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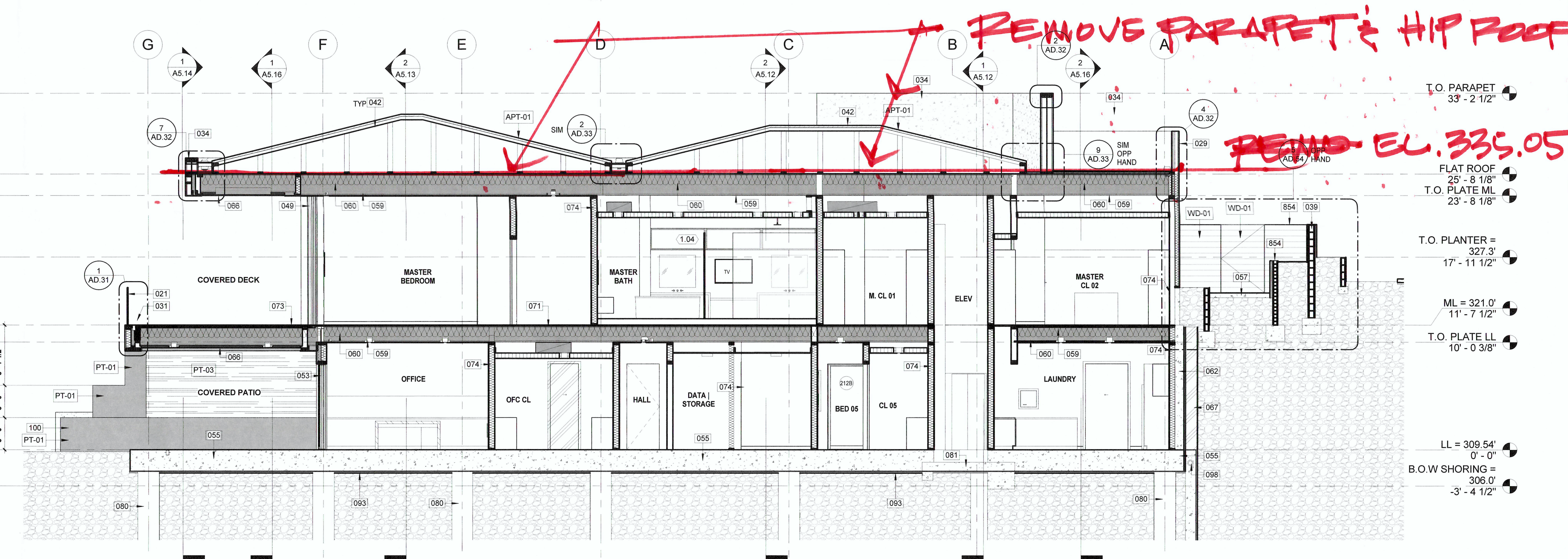
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ISSUE DATE :	05.24.19
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SHEET TITLE: BUILDING SECTIONS  
7/25/23  
SHEET NO.: A5.14





1 BUILDING SECTION EW 05  
3/16" = 1'-0"



2 BUILDING SECTION EW 06  
3/16" = 1'-0"

EXTERIOR MATERIAL LEGEND	
SYMBOL	DESCRIPTION
PT-01	SMOOTH STUCCO FINISH, TRICORN BLACK SW958. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK.
PT-02	SMOOTH CONCRETE BURNISHED STUCCO FINISH. LIGHT GREY. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK.
PT-03	RAVED CONCRETE BURNISHED STUCCO FINISH, LIGHT GREY. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK.
CO-02	POURED-IN-PLACE CONCRETE SMOOTH FINISH. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK.
WD-01	WOOD SIDING, NAKAMOTO FORESTRY, SHOU SUGI BAN, GENDAI OAK NM1718, FINISH ARMSTRONG MAHOGANY, 1/2" SHIP LAY, ASTM D4199 FIRE RESISTANT TREATED. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK.
STL-01	HOT ROLLED STEEL, PAINTED MAT FINISH, PT-01. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK.
STL-02	NEOLITH.COM, IRON SERIES, IRON GREY STAIN, SLAB FORMAT, 3MM TYP. EXPOSED EDGES TO BE SEALED. TO BRING OUT COLOR TO MATCH FACE OF TILE. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK.
MTL-01	MCMCHOLS DESIGNER WOVEN METAL, MESH TECHVA, SERIES #199 OR APPROVED EQUAL, FINISH TO MATCH STL-01. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK.
APT-01	ASPHALT SHINGLE ROOF, CERTANTEED, LANDMARK (AR), COLOR PENTWROOD (L70) CLASS A FIRE RESISTANCE, ICC-ES ESR-1886, ESR-1857, ASTM E198 CLASS A). ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK.
T-01	FLOOR TILE OVER RAY SLAB HARDCAPE. REFER TO INTERIORS FOR SPECIFICATION.
CH-01	LIGHT GREY CONCRETE HARDCAPE WITH LIGHT TEXTURE EXPOSED AGGREGATE WITH VARYING COLOR. CONCRETE TO BE SEALED CLEAR MATT FINISH. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK.

KEYNOTES	
006	EXISTING SIDEWALK TO BE REMOVED AND RECONSTRUCTED ALONG PROPERTY FRONTAGE PER CURRENT CITY STANDARDS. NEW SIDEWALK SHALL MAINTAIN EXISTING FINISH GRADES
021	42" H, 1/2" THICK MONOLITHIC TEMPERED GLASS GUARDRAIL WITH RECESSED SHOE. REFER TO DETAILS PER HARDCAPE PLAN
026	TRELLIS 1-COAT STUCCO FINISH PER EXTERIOR MATERIAL LEGEND
029	POURED-IN-PLACE CONCRETE EXTERIOR WALL. REFER TO EXTERIOR ELEVATIONS FOR FINISH
031	BLACKENED STEEL TILE OVER 6" CMU WALL PLANTER. REFER TO EXTERIOR MATERIAL LEGEND
034	PARAPET
036	WINDOW SYSTEM. REFER TO WINDOW TYPES
039	8" CMU COURTYARD SCREEN WALL WITH WOOD SIDING FINISH EACH SIDE. MITER SIDING AT ALL CORNERS W.O.
042	ASPHALT TILE ROOF SYSTEM. REFER TO EXTERIOR MATERIAL LEGEND FOR SPECIFICATION AND ROOF DETAILS FOR ADDITIONAL INFORMATION
049	SLIDING POCKET DOOR SYSTEM PER DOOR TYPES
053	SLIDING DOOR SYSTEM PER DOOR TYPES AND SCHEDULE
055	CONCRETE SLAB FOUNDATION PER STRUCTURAL
057	CONCRETE HARDCAPE PER HARDCAPE PLAN
059	WOOD TRUSS SYSTEM PER STRUCTURAL
060	BATT INSULATION
062	CONCRETE RETAINING WALL UNDER SEPARATE SHORING PERMIT
066	EXTERIOR WOOD SIDING SOFFIT OVER 5/8" TOUGHROCK NONCOMBUSTIBLE PER ASTM E138 FIREGUARD C SOFFIT BOARD OR APPROVED EQUAL
067	SHORING PILES UNDER SEPARATE PERMIT
071	TYPICAL FLOOR CONSTRUCTION
072	TYPICAL EXTERIOR WALL CONSTRUCTION
073	TYPICAL DECK CONSTRUCTION
074	TYPICAL INTERIOR WALL CONSTRUCTION
080	DRILLED CAST-IN-PLACE CONCRETE PILE. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION
081	STEP IN CONCRETE FOUNDATION FOR 12" DEEP ELEVATOR PIT
093	SAND BED UNDER VAPOR BARRIER SYSTEM PER STRUCTURAL
098	4" DIA. PERFORATED SCHEDULED 40 PVC DRAIN PIPE WRAPPED IN GEOTEXTILE. SLOPE 1/4" PER FOOT TO COLLECTION BASIN. REFER TO CIVIL FOR STORM DRAIN CONNECTION AND LOCATION
100	CMU RETAINING WALL UNDER A SEPARATE PERMIT. REFER TO COVER SHEET AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
854	1/4" H.R. BLACKENED STEEL CAP - REFER TO EXTERIOR SPECIFICATIONS AND PLAN FOR SIZING

blue heron  
DESIGN + BUILD

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ALL QUESTIONS RELATING TO THE DESIGN OR CONSTRUCTION OF THIS PROJECT SHOULD BE FORWARDED TO THE PROJECT DESIGN MANAGER AND/OR CONSTRUCTION MANAGER OF BLUE HERON DESIGN BUILD AS LISTED BELOW

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BUILDING DEPARTMENT SET

REVISIONS:	NO.	DATE	DESCRIPTION
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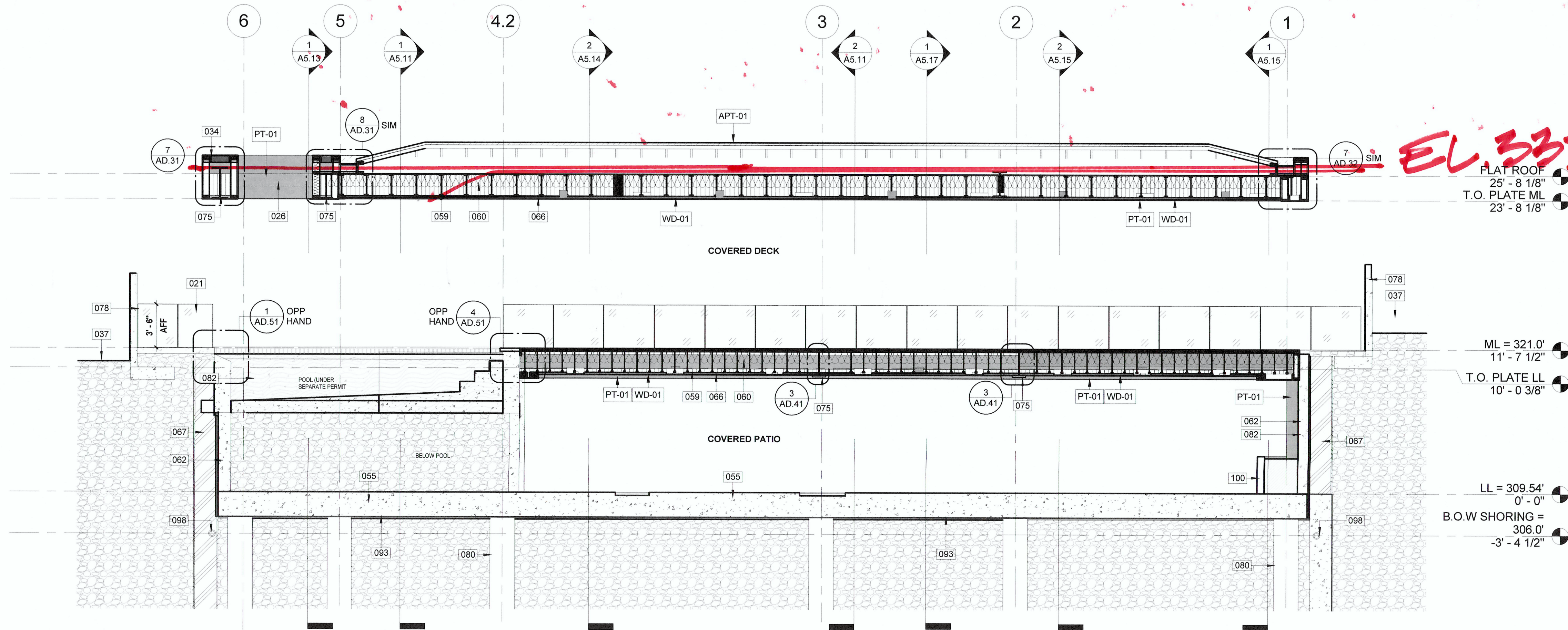
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DRAWING BY:	RP

SHEET TITLE: BUILDING SECTIONS

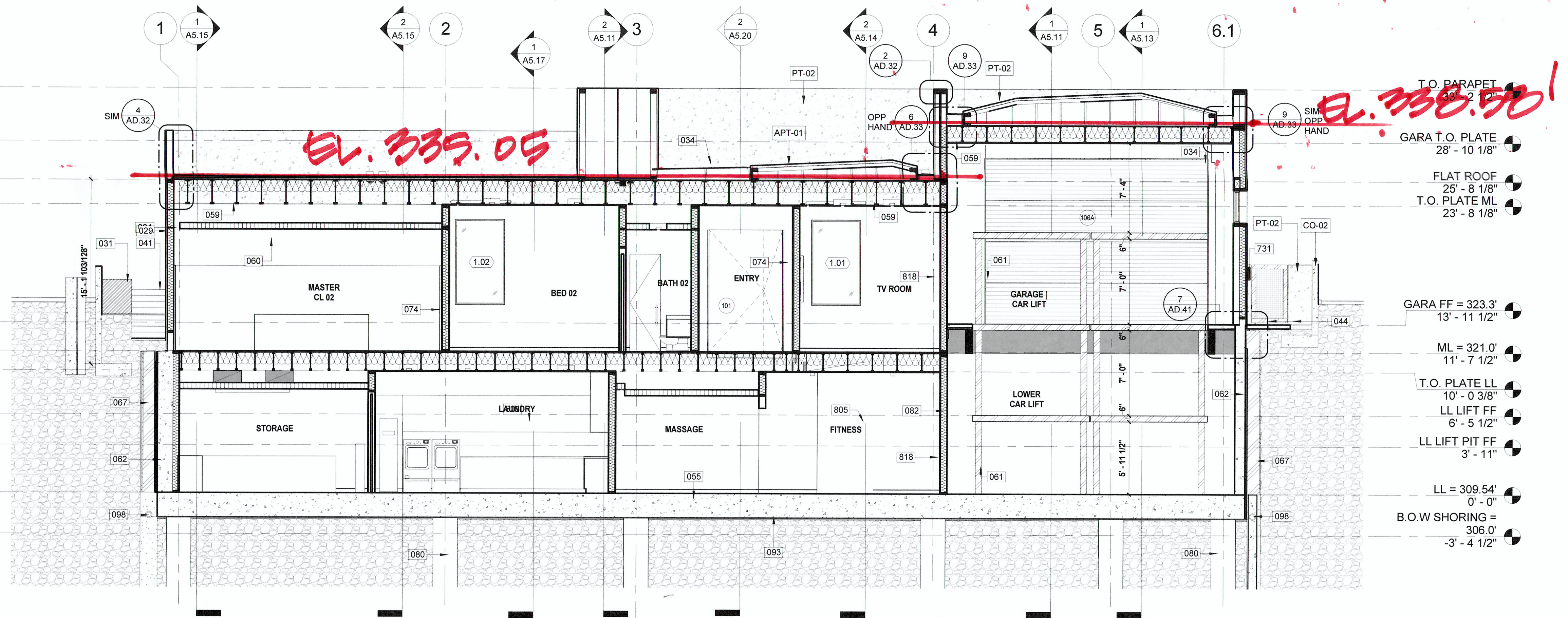
7/23/19

SHEET NO. A5.15





**1 BUILDING SECTION NS 05**  
3/16" = 1'-0"



**2 BUILDING SECTION NS 06**  
3/16" = 1'-0"

NOTE: FOR PROP D LIMITATIONS, REFER TO BUILDING SECTION 1/A5.11 FOR CALCULATIONS

EXTERIOR MATERIAL LEGEND	
SYMBOL	DESCRIPTION
PT-01	SMOOTH STUCCO FINISH, TRICORN BLACK SANDS, ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
PT-02	SMOOTH CONCRETE BURNISHED STUCCO FINISH, LIGHT GREY, ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
PT-03	RAVED CONCRETE BURNISHED STUCCO FINISH, LIGHT GREY, ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
CO-02	POURED-IN-PLACE CONCRETE SMOOTH FINISH, ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
WD-01	WOOD SIDING, MAKAMOTO FORESTRY, SHOU SUGI BAN, GENDAI SKIN NM1719, FINISH ARMSTRONG MAHOAGANY, 1X6 SHIP LAP, ASTM E84, FIRE RESISTANT TESTED, ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
STL-01	HOT ROLLED STEEL, PAINTED MAT FINISH, PT-01, ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
STL-02	NEOLITH.COM, IRON SERIES, IRON GREY STAIN, SLAB FORMAT, 3MM, TOP EXPOSED EDGES TO BE SEALED TO BRING OUT COLOR TO MATCH FACE OF TILE, ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
MTL-01	MONOCHOLS DESIGNER WOVEN MESH, TECHNA SERIES B195 OR APPROVED EQUAL, FINISH TO MATCH STL-01, ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
APT-01	ASPHALT SHINGLE ROOF, CERTAINTED, LANDMARK (AR), COLOR PEWTERWOOD (UL 790 CLASS A FIRE RESISTANCE, ICC-ES ESR-1368, ESR-3537, ASTM E1592 CLASS A), ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
T-01	FLOOR TILE OVER RAY SLAB HARDSCAPE, REFER TO INTERIORS FOR SPECIFICATION
CH-01	LIGHT GREY CONCRETE HARDSCAPE WITH LIGHT TEXTURE EXPOSED AGGREGATE WITH VARYING COLOR, CONCRETE TO BE SEALED CLEAR MATT FINISH, ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK

KEYNOTES

021	42" H, 1/2" THICK MONOLITHIC TEMPERED GLASS GUARDRAIL WITH RECESSED SHOE, REFER TO DETAILS PER HARDSCAPE PLAN
026	TRELLIS 1-COAT STUCCO FINISH PER EXTERIOR MATERIAL LEGEND
029	POURED-IN-PLACE CONCRETE EXTERIOR WALL, REFER TO EXTERIOR ELEVATIONS FOR FINISH
031	BLACKENED STEEL TILE OVER 6" CMU WALL PLANTER, REFER TO EXTERIOR MATERIAL LEGEND
034	PARAPET
037	EXISTING GRADE
041	CONCRETE STEPS-ON-GRADE PER SITE DETAILS
044	SIDE YARD GATE AND WALL UNDER A SEPARATE PERMIT, REFER TO ARCH. COVER SHEET BUILDING SECTIONS AND EXTERIOR ELEVATIONS FOR HEIGHTS AND ADDITIONAL INFORMATION. NOTE: NO POOL ENCLOSURE GATE AND FENCE SHALL BE HIGHER THAN THE VIEW CORRIDOR EASEMENT
055	CONCRETE SLAB FOUNDATION PER STRUCTURAL
059	WOOD TRUSS SYSTEM PER STRUCTURAL
060	BATT INSULATION
061	CAR HYDRAULIC POST LIFT SYSTEM
062	CONCRETE RETAINING WALL UNDER SEPARATE SHORING PERMIT
066	EXTERIOR WOOD SIDING SOFFIT OVER 5/8" TOUGHROCK NONCOMBUSTIBLE PER ASTM E136 FIREGUARD C SOFFIT BOARD OR APPROVED EQUAL
067	SHORING PILES UNDER SEPARATE PERMIT
074	TYPICAL INTERIOR WALL CONSTRUCTION
075	BEAM - REFER TO STRUCTURAL PLANS
078	6" W X 6'-0" H MAX. HEIGHT FROM NEW FINISH GRADE TO BE CONSTRUCTED WITH NO ENCROACHMENT ON ADJACENT PROPERTY TO BE UNDER SEPARATE PERMIT, REFER TO ARCHITECTURAL COVER SHEET CVR FOR ADDITIONAL INFORMATION
080	DRILLED CAST-IN-PLACE CONCRETE PILE, REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION
082	POURED-IN-PLACE CONCRETE WALL, REFER TO STRUCTURAL
093	SAND BED UNDER VAPOR BARRIER SYSTEM PER STRUCTURAL
098	4" DIA. PERFORATED SCHEDULED 40 PVC DRAIN PIPE WRAPPED IN GEOFABRIC, SLOPE 1/4" PER FOOT TO COLLECTION BASIN, REFER TO CIVIL FOR STORM DRAIN CONNECTION AND LOCATION
100	CMU RETAINING PLANTER WALL UNDER A SEPARATE PERMIT, REFER TO COVER SHEET AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
731	WALL MOUNTED LIGHT FIXTURE - REFER TO ELECTRICAL PLAN & EXTERIOR SPECIFICATIONS
805	TYPICAL FLOOR CONSTRUCTION: 1-1/8" CDX PLYWOOD, NAIL AND GLUE FLOOR SHEATHING, O/PRE-MANUFACTURED FLOOR TRUSSES OR 2x FRAMING @ 24" OC MAX W/ 5/8" GYP BD CEILING - REFER TO STRUCTURAL PLANS & TRUSS CALCULATIONS
818	WALL FINISH - OCCUPANCY SEPARATION BETWEEN HOUSE AND GARAGE (IRC R3026); WALLS: PROVIDE MIN (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD AT GARAGE SIDE OF WALLS; CEILING: PROVIDE MIN (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD APPLY INSULATION (SEE 2012 IECC COMPLIANCE CERTIFICATE FOR THE R-VALUE) AT ALL LIVABLE WALL AND CEILING AREAS



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4675 W TECO AVE, STE. 250  
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CONTACT: Amy Fincham  
afincham@blueheron.com

CUSTOM HOME  
8230 PRESTWICK DR.  
LA JOLLA, CA 92037

BUILDING DEPARTMENT SET

REVISIONS:

NO.	DATE	DESCRIPTION
1		

CHECKED BY: AF  
SCALE: As Indicated  
ISSUE DATE: 05.24.19  
DRAWING BY: RP

SHEET TITLE: BUILDING SECTIONS  
7/23/19  
SHEET NO.: A5.16





KEYNOTES	
021	42" H. 1/2" THICK MONOLITHIC TEMPERED GLASS GUARDRAIL WITH RECESSED SHOE. REFER TO DETAILS PER HARDSCAPE PLAN
031	BLACKENED STEEL TIE OVER 6" CMU WALL PLANTER. REFER TO EXTERIOR MATERIAL LEGEND
039	8" CMU COURTYARD SCREEN WALL WITH WOOD SLAT FINISH EACH SIDE. MITER SIDING AT ALL CORNERS W/O.
040	4'-0" W. X 9'-0" H. COURTYARD DOOR TO MATCH WOOD SIDING W/ BLACKENED STEEL FRAME AND HARDWARE
041	CONCRETE STEPS-ON-GRADE PER SITE DETAILS
042	ASPHALT TILE ROOF SYSTEM. REFER TO EXTERIOR MATERIAL LEGEND FOR SPECIFICATION AND FOR DETAILS FOR ADDITIONAL INFORMATION
049	SLIDING POCKET DOOR SYSTEM PER DOOR TYPES
053	SLIDING DOOR SYSTEM PER DOOR TYPES AND SCHEDULE
055	CONCRETE SLAB FOUNDATION PER STRUCTURAL
057	CONCRETE HARDSCAPE PER HARDSCAPE PLAN
059	WOOD TRUSS SYSTEM PER STRUCTURAL
060	BATT INSULATION
062	CONCRETE RETAINING WALL UNDER SEPARATE SHORING PERMIT
066	EXTERIOR WOOD SIDING SOFFIT OVER 5/8" TOUGHROCK NONCOMBUSTIBLE PER ASTM E136 FIREGUARD C SOFFIT BOARD OR APPROVED EQUAL
067	SHORING PLANS UNDER SEPARATE PERMIT
072	TYPICAL EXTERIOR WALL CONSTRUCTION
073	TYPICAL DECK CONSTRUCTION
074	TYPICAL INTERIOR WALL CONSTRUCTION
075	BELM - REFER TO STRUCTURAL PLANS
080	DRILLED CAST-IN-PLACE CONCRETE PILE. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION
093	SAND BED UNDER VAPOR BARRIER SYSTEM PER STRUCTURAL
098	4" DIA. PERFORATED SCHEDULED 40 PVC DRAIN PIPE WRAPPED IN GEOPHABRIC, SLOPE 1/4" PER FOOT TO COLLECTION BASIN. REFER TO CIVIL FOR STORM DRAIN CONNECTION AND LOCATION

**blue heron**  
DESIGN ■ BUILD

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LA JOLLA, CA 92037  
BUILDING DEPARTMENT

SHEET TITLE: BUILDING SECTIONS  
7.12319  
SHEET NO.: A5.17



## La Jolla Community Planning Association

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**From:** Chandra Slaven <CSlaven@blueheron.com>  
**Sent:** Friday, July 26, 2019 1:12 PM  
**To:** Tony Crisafi; La Jolla Community Planning Association  
**Cc:** Larry Hershfield; Mendoza, Francisco; Amy Conley  
**Subject:** Hershfield: Narrative for Title Page

Hello Tony,

Per our conference call yesterday, I am forwarding my original email from earlier this week containing our proposed language for the Title Sheet of the building plan set. Please see below. Please kindly confirm receipt and let me know if you have any further questions. Thank you again,  
Chandra

*Sent from my Verizon LG Smartphone*

----- Original message-----

**From:** Chandra Slaven  
**Date:** Tue, Jul 23, 2019 5:24 AM  
**To:** La Jolla Community Planning Association; Larry Hershfield;  
**Cc:** Matt Mangano; Dave Gordon; Mendoza, Francisco; Amy Conley;  
**Subject:** Re: 7.23.19 Hershfield Update

Good morning Tony,

Per your request, please find below our suggested narrative for adding to the notes on the title page (assuming City approval):

*"Roofline to be lowered four feet to 338.58 MSL; garage door to be 10 feet high; both contingent on that certain Declaration of Restrictions, dated November 17, 1959, and recorded in the Official Records of San Diego County, California on November 18, 1959 in Book 8003, Page 284 (the "Declaration"), expiring as scheduled on December 31, 2019."*

If you need a copy of the relevant CC&R page indicating the expiration of the CC&Rs, I can provide that.

Please let me know if this is acceptable along with the annotated plans that I have already provided.

Please let me know if we can discuss and hopefully finalize this matter this Thursday at 4:30 pm by phone.

Thank you again and I look forward to hearing from you,

Chandra Slaven, AICP, LEED AP

Project Manager, Forward Planning, California

Cell: 619-316-7645

4675 W Tecu Ave. Ste. 250

**From:** La Jolla Community Planning Association <[info@lajollacpa.org](mailto:info@lajollacpa.org)>  
**Date:** July 26, 2019 at 2:12:06 PM PDT  
**To:** Tony Crisafi <[tcrisafi@islandarch.com](mailto:tcrisafi@islandarch.com)>  
**Subject:** FW: 8230 Project

**From:** [fstrum@aol.com](mailto:fstrum@aol.com) <[fstrum@aol.com](mailto:fstrum@aol.com)>  
**Sent:** Wednesday, July 17, 2019 9:50 PM  
**To:** [tcrisafi@islandarch.com](mailto:tcrisafi@islandarch.com); La Jolla Community Planning Association <[info@lajollacpa.org](mailto:info@lajollacpa.org)>  
**Subject:** 8230 Project

Hi Tony,

We are sending along a copy of a letter from the interested parties on Prestwick Drive which we hope will be helpful at the town meeting on Thursday July 18. Also a copy goes to Chandra.

July 17, 2019

Tammy & Larry Hershfield 8230 Prestwick Drive  
La Jolla, CA 92037

Dear Tammy and Larry,

We are writing this as a collective response of feelings, input and questions from neighbors. We thank you for your recent offer of incorporating a flat roof to 17'7" AFF of 321 MSL to reduce the height of the parapet 4' and respectfully request your neighborly consideration in reducing the parapet 4' 10" to match the height of the current existing house parapet of 16'9" AFF of 321 MSL.

The current house parapet covers 43 1/2 feet / East elevation projection and is set back 40 feet from the curb, as well as providing multiple different heights of roof line, chimneys and parapet, lessening the overall bulk and scale experience of the home from the street and in the neighborhood. Your proposed house plans will sit closer to the sidewalk and will cover 87 feet across the property and will be set back only 25 feet from the curb. The significant increase in bulk and scale of the new proposed house will now sit 15 feet closer to the curb.

As you know many of us have lived in this neighborhood for over 40 years and some over 50 years. It is a neighborhood that we have enjoyed living in, raising our families, and enjoying the beauty and ocean views of our beach community.

As a neighborhood we want to support the committee and their efforts and the trustees fiduciary responsibilities to represent the La Jolla Community. We want to work towards an understanding that satisfies you, the neighborhood and the LJCPA. Please consider our request for the 16'9" AFF.

Regards,

Naomi Crosby

Silvia Berchtold

Beverly & Raymond Beuligmann & Susan Mann Barbara & David Groce

Jan & George Keene

Flora & Wayne Kennedy

Sharon & Joel Labovitz

Rachel Martin

Juanita j. Meyer

Patricia Miller

Faye & Bill Strum

Linda & Donald Swortwood

Anne Marie, Marianne, & Carol Merrill Zappella



## La Jolla Community Planning Association

PO Box 889, La Jolla, CA 92038 ♦ 858.456.7900 ♦ <http://www.LaJollaCPA.org> ♦ [info@LaJollaCPA.org](mailto:info@LaJollaCPA.org)

August 1, 2019

### Herschfield Residence Environmental Appeal Argument to City Council

1. 7' high non-functional parapet and 3 massive non-functional hip roof structures were added to the top of the flat roof. The hip roof footprint covers over 6,000 s.f. and is 7' tall. The massing of this non-functioning element is out of character with the neighborhood. Two recently approved new homes have flat roofs: 2585 Calle Del Oro (PTS 441535) and 8194 Prestwick Drive (PTS 44597).
2. The rendering showing a dark grey stucco palate violates the LJSPDO.
3. The total proposed floor area is almost 14,000 square feet, more than twice the amount of the last two community & city approved new home developments on the West slope in the Prestwick neighborhood.
4. The project requires 3,400 cubic yards of soil removal, 12 feet of visible land mass removal, over 200 feet of temporary and/or permanent shoring. There is no evidence of a grading permit application. Grading without a permit places the owner, city & community at risk during construction & for the life of the project. The two previously approved smaller sfr redevelopments within the Prestwick neighborhood obtained grading permits (SDMC 129.0602).
5. The project proposes that the storm water be collected at the lower property line and then released onto the street below. The two previously approved homes nearby provided on-site bio-swales that passively filter water onto the site. It is believed that the proposed Hershfield project storm water design will place undue risk on the owner, city & community during an intense storm event.

# La Jolla Community Planning Association

Regular Meetings: 1<sup>st</sup> Thursday of the Month | La Jolla Recreation Center, 615 Prospect Street

## Contact Us:

Mail: PO Box 889, La Jolla, CA 92038

Web: [www.lajollacpa.org](http://www.lajollacpa.org)

[info@lajollacpa.org](mailto:info@lajollacpa.org)

President: Tony Crisafi

Vice President: Matt Mangano

2<sup>nd</sup> Vice President: Dave Gordon

Secretary: Suzanne Weissman

Treasurer: Mike Costello

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## DRAFT MINUTES

**Regular Meeting | Thursday, July 18, 2019 – 6 p.m, Moved to 7/18/19 (due to July 4<sup>th</sup> holiday) Notice date 7/8/19**

### Welcome and Call to Order: Tony Crisafi, President: 6:03 pm

- *This is a full agenda, recorded meeting therefore, the following rules will be enforced:*
- *Mobile devices off or on silent mode.*
- *All public and trustee comment will be addressed to the chair.*
- *Public and trustee comment will be limited to 2 minutes*
- *Comments will be directed to the project or matter using third person, singular or plural when they are addressed to the chair.*
- *Chair may ask for member votes. Please keep hands raised until the vote tally is announced.*
- *Upon consensus, Chair will close discussion and call for a motion*

**Quorum Present:** Brady, Costello, Crisafi, Fitzgerald, Gordon, Ish, Jackson, Kane, Little, Mangano, Manno, Neil, Rasmussen, Shannon, Weissman

**Absent:** Courtney, Fremdling, Will

### 2.0 Adopt the Agenda as modified and distributed noting the following items:

10.0 2 - T&T Action Items transcribed from 7/18/19 meeting notes

11.2 Attachments provided from public record information & applicant

2/3 Majority vote required to add action item(s) to agenda.

**Neil:** Modify item 11.5 by inserting words 'and other' between words 'Conrad and billboards.'

**Motion:** Adopt agenda with modifications: (Neil/Kane) **Vote:** 14-0-1 **Motion carries**

**In Favor:** Brady, Costello, Fitzgerald, Gordon, Ish, Jackson, Kane, Little, Mangano, Manno, Rasmussen, Shannon, Weissman

**Opposed:** none

**Abstain:** Crisafi (Chair)

### 3.0 Meeting Minutes Review and Approval

#### 3.1 02 May 2019 – Regular meeting minutes

**Motion:** Approve May 2, minutes: (Fitzgerald/Costello) **Vote:** 12-0-3, **Motion carries**

**In Favor:** Brady, Costello, Fitzgerald, Gordon, Ish, Jackson, Kane, Little, Neil, Rasmussen, Shannon, Weissman

**Opposed:** none

**Abstain:** Crisafi, Mangano, Manno

#### 3.2 06 June 2019 - Regular meeting minutes

**Motion:** Approve June 6, 2019 minutes: (Kane, Mangano) **Vote:** 11-0-4, **Motion carries**

**In Favor:** Brady, Costello, Fitzgerald, Gordon, Ish, Jackson, Kane, Mangano, Neil, Rasmussen, Weissman

**Opposed:** none

**Abstain:** Crisafi, Little, Manno, Shannon

**Audience comment:** No extra copies of agenda in back; **Crisafi:** master copy available; **Gordon;** offered extra copy.

## 4.0 Officer Reports

### 4.1 Treasurer - Mike Costello's report

Beginning Balance as of 6/6/19	\$847.68
Income	
Collections	\$ 208.60
CD Sales	\$ <u>0</u>
Total Income	\$ 208.60.
Expenses	
Agenda printing	\$ 43.44
AT&T telephone disconnected	\$ 00.00
GoDaddy	\$ 308.57
SD City Treasurer, LJ Rec Center, room use	\$ <u>260.00</u>
Total Expenses	\$ <u>612.01</u>
Net Income/(Loss)	\$ <u>(403.41)</u>
Ending Balance of 6/30/19	\$ 444.27

Offered thanks to Greg Jackson for tech updates; clarified that room use was for overtime; we are applying for a grant from city for \$ 500. Donations must be anonymous; please be generous.

### 4.2 Secretary-

If you want your attendance recorded today, you should sign in at the back of the room. LJCPA is a membership organization open to La Jolla residents, property owners and local business and non-profit owners at least 18 years of age. Eligible visitors wishing to join the LJCPA need to submit an application, copies of which are available at the sign-in table or on-line at the LJCPA website: [www.lajollacpa.org/](http://www.lajollacpa.org/). We encourage you to join so that you can vote in the Trustee elections and at the Annual Meeting in March. You can become a Member after attending one meeting and must maintain your membership by attending one meeting per year. If you do not attend one meeting per year, your membership will expire. To qualify as a candidate in an election to become a Trustee, a Member must have documented attendance at three LJCPA meetings in the preceding 12-month period. You are entitled to attend without signing in, but only by providing proof of attendance can you maintain membership or become eligible for election as a Trustee.

## 5.0 Elected Officials – Information Only

**5.1** Council District 1: Councilmember Barbara Bry.

Rep: **Mauricio Medina**, 619-236-6611, [mauriciom@sandiego.gov](mailto:mauriciom@sandiego.gov)

Passed out latest edition of Bry Bulletin; noted invitation to Brews with Bry at Farmer & Seahorse, Thursday, August 8, 4:30 to 6:00 pm. Come, have a beer, learn what council office is working on and our priorities.

**5.2** 78<sup>th</sup> Assembly District: Assembly member Todd Gloria

Rep: **Mathew Gordon** 619-645-3090 [mathew.gordon@asm.ca.gov](mailto:mathew.gordon@asm.ca.gov) Not present

**5.3** 39<sup>th</sup> Senate District: State Senator Toni Atkins, Senate President pro Tempore

Rep: **Chevelle Newell Tate**, 619-645-3133 [Chevelle.Tate@sen.ca.gov](mailto:Chevelle.Tate@sen.ca.gov) Not present

## 6.0 President's Report – Information only unless otherwise noted

**6.1** The Children's Pool SCR (PTS627990) appeal to City Council docketed for Sept 17, 2019

@ 2:00

**6.2** Thank Trustee Jackson for mailbox & website update.

**6.3** Appeal to the Hearing Officer's decision to approve Bonair Residence Project, 744 Bonair St.,  
Will be heard by the Planning Commission on Thursday, July 18, 2019 @ 9:00 a.m.

Crisafi attended the meeting today. Planning commission unanimously upheld Hearing Officer's decision and reversed HO condition to reduce the overhang including on the north side of property. This decision is not appealable to City Council.

**Gordon:** Received email from Merten to some trustees which is a violation of Brown Act.

**Kane/Little** commented not a violation because he is not a trustee, did not contact all trustees and this is no longer an action item.

**Kane:** At DPR meeting definition of carport was clarified and will be presented at next month's CPA meeting.

**Crisafi:** Point was made at PC hearing today that carport created more mass while square footage was not being counted for carport. This is not logical for control of massing. Community planning process it to give input of compatibility of building form with neighborhood and this applicant was working against that with carports pushed under the house. Hopefully, the code update will simplify that.

Another question came up about the process at the subcommittee and noticing of the project. It seemed we were penalized for following the Brown Act to make sure the project was noticed. The commissioners thought it was unreasonable not to have a second meeting with applicant at the subcommittee. Applicant stated they tried to bring project back to DPR committee but were not allowed because the project was not noticed properly. DPR members stated the project was notified properly and applicant refused to attend. Crisafi stressed it is important to avoid this type of misunderstanding to repeat information and make sure it is understood by city staff.

**6.4** Brown Act Announcement: 2019 Brown Act Compliance Workshop is a training session presented by the City of San Diego Planning Department to help community planning group members to understand The Ralph M. Brown Act (Government Code sections 54950-54963, referred to as the "Brown Act"). Topics of discussion include an introduction to the Brown Act and keeping meetings and agenda's compliant.

Please see the details of the workshop below:

- o Date: July 25, 2019 6:00 p.m.-7:00 p.m.
- o Location: 202 C street, San Diego (City Concourse, Silver Room)
- o Please RSVP including your name, email, and community to SDPlanningGroups@sandiego.gov or at (619) 533-6307 by July 22, 2019

## 7.0 Public Comment

*Opportunity for public to speak on matters not on the agenda, 2 minutes or less*

**7.1** City of San Diego – Community Planner: Marlon Pangilinan, [mpangilinan@sandiego.gov](mailto:mpangilinan@sandiego.gov) Not present

**7.2** UCSD – Planner: Anu Delouri, [adelouri@ucsd.edu](mailto:adelouri@ucsd.edu), <http://commplan.ucsd.edu/> or Robert Brown Not present

**7.3** General Public

**Melinda Merryweather:** Requests to put on next month's agenda as an action item a request to the City to open the sluice gates at the Childrens Pool to clean the sand and keep it from building up creating a hill.

## 8.0 Non-Agenda Trustee Comment

*Opportunity for trustees to speak on matters not on agenda – 2 minutes or less*

**Costello:** Please don't be afraid to attend City meetings representing CPA. He has made a power point presentation that he gave at the last Coastal Commission meeting that is a good format for representing the CPA. It shows how to present motions, votes, how the meeting proceeds, what to ask or not ask. He will email this PP to any trustee.

**Kane:** There are 2 ordinances making their way through City Hall that we should watch:

1. New ordinance on push carts responding to new legislation from State allowing vendors on public sidewalks and places. City must first rescind the current ordinance then replace it with a new one. Nothing is yet on City website; it will go to City Council next month. It will be heard at Parks & Beaches Monday. Bob Evans has reviewed it closely and it will probably not affect La Jolla.
2. A new ordinance on mixed use zoning in response to the State's interest in creating more housing will be going to City Council next month. It is not ready for public review. It will go into effect if you are doing a



Community Plan update so that should not affect La Jolla zoning. It also affects Transit Priority Areas While we told previously that a TPA was not in La Jolla, a map of TP Areas clearly showed the Route 30 bus line as a TPA. This would affect the flat areas of La Jolla and we should watch closely.

**Manno:** Are vendors a land use issue and should LJCPA weigh in on this? Reply Kane: she could go to parks and beaches meeting to get more information. We could craft a letter following their lead on how to weigh in.

**Medina:** It is going to the Economic Development Committee at City Hall then to City Council in September so there is still time before the September meeting.

**Rasmussen:** Disincentive to keep bus running.

## **9.0 Reports from Ad Hoc and non-LJCPA Committees - Information only unless noted.**

### **9.1 Community Planners Committee** <http://www.sandiego.gov/planning/community/cpc/index.shtml> - Dave Gordon

**Mangano:** Majority of CPC meeting was about SB330 -- how local groups will address it when it comes back around. Otherwise the discussion was about communication between groups

**Little:** what is sentiment of groups. **Reply:** the sentiment is much like ours.

### **9.2 Coastal Access & Parking Board** <http://www.lajollacpa.org/cap.html>

**Weiss:** Discussion putting out an RFP for shuttle program; Merchant's Association taking the lead. Also discussion of a system that gives location and number of vacant parking spaces. This is expensive but could reduce driving around looking for parking. Further discussion of possible funding sources and types of shuttles. Little information available yet.

### **9.3 UC San Diego advisory Committee** -- did not meet.

### **9.4 Hillside Drive Ad Hoc Committee** -- Diane Kane, Chair

**Kane:** There has been a lot of const on Hillside Dr/Torrey Pines Rd., replacement of signs, trucks getting stuck. The committee is trying to schedule a meeting before next meeting. Some success in media about what our concerns are. We are working with officer Christine Garcia about getting additional signs that can be enforced. Stuck trucks do not get ticketed; City Code does not allow tickets. Officer Garcia is working with the city attorney and us trying to amend the code to get signs on Torrey Pines Rd and up Hillside Dr that can be enforced. Yellow signs are advisory and can't bring a ticket; white signs are regulatory and can bring a ticket. We are also working with Development Services on construction management and staging.

### **9.5 Airport Noise Advisory Committee** -- Matthew Price not present

### **9.6 Playa Del Norte Stanchion Committee** Nothing to report.

## **10.0 Consent Agenda**

The Consent Agenda allows the LJCPA to ratify recommendations of the community joint committees and boards in a single vote with no presentation or debate. It is not a decision regarding the item but a decision whether to accept the recommendation of the committee/board as the recommendation of the LJCPA. The public may comment on consent items.

**10.1 – End of Summer Fire Run** – Request for temporary street closure and No Parking on portions of Prospect Street and La Jolla Blvd for the 20<sup>th</sup> annual event on Sunday, August 25, 2019 (Gloria Goodenough).  
T&T Motion to approve End of Summer Fire Run passes 8-0-0

**10.2 – San Diego Triathlon Challenge** – Request by Challenged Athletes Foundation for temporary street closure and temporary No Parking on Coast Blvd. between Prospect St. and Girard Ave. and Lane closure on Torrey Pines Rd. between Prospect and La Jolla Shores Dr. for the 26<sup>th</sup> annual event on Sunday, October 29, 2019  
(Julia Duggan T&T Motion to approve San Diego Triathlon Challenge passes 8-0-0)

*See Committee minutes and/or agenda for description of projects, deliberations, and vote.  
Anyone may request a consent item be pulled for full discussion by the LJCPA.*

**Motion:** Approve consent agenda (Jackson/Gordon) Vote: 14-0-1, Motion Carries!

In Favor: Brady, Costello, Fitzgerald, Gordon, Ish, Jackson, Kane, Little, Mangano, Manno, Neil, Rasmussen, Shannon, Weissman

Opposed: 0

Abstain: Crisafi (chair)

**Comment:** Item 10.2 Triathlon Event is on October 20, not 29.

**The following agenda items are ACTION ITEMS unless otherwise noted and may be *de novo* considerations. Prior actions by committees/boards are listed for information only.**

Courtney arrives; reflected in vote count

## **11.0 – 11.6 LJCPA Review and Action Matter**

**11.0 Letter from President to support the maintenance & repair of Kellogg Park Marine Reserve Map and access ways, and to advise DSD that this action meets Coastal Permit Exemption guidelines. On-site work to be activated after summer moratorium. Information attached.**

Map is on view at old NOAA building. Development Services is trying to find a way to permit this as repair and maintenance; applicant has been working with coastal staff and commission to see that it meets all policy and code requirements. Fabricated off site and ready to move to site. High quality piece, full mosaic, 2300 Sq. Ft.

**Charles White:** He disagrees with following statements in the attached letter dated June 15, to Helene Deisher:

- The Kellogg Park replacement map and access ways adjacent to the Vallecitos comfort station qualifies as a repair and maintenance project.
- Replacement meets, matches or exceeds access.
- Described background on original map.
- 2015 original map completely removed and replaced with decomposed granite.
- This map is completely new map which has a fence.
- As of June 2019, drawings and representations submitted by Mary to the Coastal Commission were denied. She does not have CC approval.

**Edie Munk:**

- Mary's fundraising efforts have been for a new map, not repair and maintenance.
- There is no map to repair.
- There are no plans or drawings to review.
- Why is this new project not falling under policies and procedures of the City?

**Tom Grunow:** Power Point presentation describing the Map

- Beautiful gift for community.
- Approved system used in several communities.
- Existing path from Vallecitos being widened.
- City will decide if coastal access is unnecessarily restricted
- Fence made of bronze very low profile.
- Creates great educational opportunities.

**Mary Munk:**

- Bottom layer of original map remains.
- Map placed in same place
- Installation of old map was bad job. Some issues remain.

**Crisafi:** Are you opposed to the map or the process? Reply: We're concerned about public access. Coastal Commission objected because of no pass through.

**Nan Renner:** Birch Aquarium. Map is useful education and for field programs.

**Little:** Can't support putting a fence around it. **Mary** described fence, pathways and access points.



**Gordon:** Is footprint same as old map? **Mary:** Footprint is same as what they gave us permission to do for old map. Gordon: original approval CDP/SDP? **Mary:** No, only Park & Rec approval.

**Gordon:** This is analogous to replacing a house burned down with another house covering the same footprint; a full CDP/SDP process would not be required. Mistake with first map not durable; logical to add fence. Disagrees that it blocks access to beach.

**Costello:** Will new map be more durable. **Grunow:** new type of installation, new material, very durable.

**Neil:** Any change to playground materials. Reply: No.

**Motion:** Approve letter as is. (Gordon/Kane) Vote: 11-4-1: Motion Carries

**In Favor:** Brady, Costello, Fitzgerald, Gordon, Ish, Kane, Little, Mangano, Manno, Shannon, Weissman

**Opposed:** Courtney, Jackson, Little, Rasmussen

**Abstain:** Crisafi (chair)

**11.1 Micro mobility parking corrals for La Jolla. City proposal for placement of numerous defined spaces within the public street for the parking of dockless scooters and bicycles. Mauricio Medina and city staff. T&T June 19 minutes with response attached.**

**Presentation by Mauricio Medina:** A packet handed out and power point presented. He is here to facilitate community feedback on locations city staff and traffic engineers have put together for corrals to park dockless scooters. The Corrals are painted blocks on asphalt on city streets adjacent to red zones ranging from 10 x 6 ft. to 20 x 6ft. where operators will be required to stage the devices. Picture shown on screen. If no corral the 4 x 40 rule ( 4 devices together 40 ft apart) will be in effect. The goal is to get the devices off the sidewalks.

- o The first spread sheet in the packet is the master list staff sent to the council office as proposed locations for corrals in La Jolla village – around 150.
- o The spots were compiled from data provided by companies on hotspots where companies were staging and where there were large amounts of drop offs. The data was compared with corresponding red zones around it to put the locations on the map where they would not block fire hydrants or parking.
- o City staff has asked for input from all LJ community planning groups.
- o Since there was no desire for corrals in residential areas they have been removed from the list - highlighted in yellow.
- o Orange highlights show sites lifeguards wanted removed.
- o The next spreadsheet shows remaining sites. From this list T & T board members made a list of 71 sites plus 10 more indicated by an asterisk.
- o The Mayors office sent a letter to shared mobility device companies saying the City will pull your permit if you fail to comply with these regulations even before the 6 months are up and will take noncompliance into consideration for permit renewal.

**Public Comment:**

**Miller:** Who is in charge of enforcement and how will it work: Reply: Get it Done app will be used to report infractions. Miller: Our tax money is providing private companies solutions to solve their problems. Reply: City's website describes fully the permitting fees assessed per device and \$4,000 to get permit.

**Weiss:** Rental car companies go after the driver to recover penalties for violation of parking laws incurred by the driver. Why doesn't this apply to scooter rental companies. They have information of driver from credit cards used. These scooters are not good for the environment as the city says. They are a substitute for walking. Walking is good; scooters are dangerous. Get it done app is inappropriate for reporting a scooter. It asks for a license number. If it is reported as a sidewalk violation the report to owner of the scooter and the owners do nothing. He gave examples. I ask the CPA to vote to oppose all corrals until there is a mechanism to enforce penalties for leaving scooters anywhere. More money is needed and the money should come from the people who are making money off the devices. *(audience applause)* **Reply:** the action is whether to approve locations. Scooters are here.

**Caroline Meade:** There are other needs requiring striping on streets. This will add another striping effort on the street causing confusion. Soon there will be street vending on the sidewalks. The city needs to be aware of many different entities impacting the city streets causing havoc. Is there a comprehensive plan for these impacts. **Reply:** The corrals are mutually exclusive.

More comments followed opposing the corrals and scooters.

Chair called for a room vote: all in favor of the T & T motion to advise the city to place the 81 corrals: In favor: 0, opposed: 31, abstain: 2.

**Trustee Comment:**

**Gordon:** Thanked Medina for putting this together but I am against the corrals because the city has put the cart before the horse. A better enforcement plan needs to be in place first.

**Weissman:** We are told the city is going to do this regardless and if we don't vote for 73 they will put in 158. This is not a very good choice. The scooters came upon us without any input. I am afraid not to vote for this because then we will get something worse.

**Costello:** There is nothing to limit anything. Riders are only 'encouraged' to leave scooter in corral. Allowing vendors to use the Public Right of Way gives them an advantage over legitimate bike shops that rent scooters. The city is supporting scooter vendors over legitimate bike shops.

**Neil:** The Rec Center specifically stated they don't want corrals in front. Can you remove item # 72 in front of Rec Center? Also Bishops school who may not be aware of 20 ft. corral in front of them. Can these be removed? **Reply:** These items can be part of a motion. **Neil:** Is this plan for corrals temporary? The corrals are positive, but if not a trial program I can't support.

**Courtney:** what will happen if we do not support this? **Reply:** If there are no corrals then operators will be allowed to stage on sidewalks as stated in regulations.

**Little:** If goal is to keep scooters out of private property solution is to reward or punish riders for proper or improper behavior with scooters. City can put pressure on vendors to do this as they have credit card information.

**Brady:** T & T voted 6 to 3 to approve the 81 spaces identified. This approval was qualified to require vendors to have units geofenced to have rider charged until the scooter was put in the corral and to require the Get it Done app coordinated with enforcement. If there are no corrals the situation will continue and we will be remiss.

**Manno:** I resent being held hostage. Many things must be done before these corrals can be installed.

**Kane:** Agrees we are being held hostage. We are told this is going to happen; just give us a number of corrals. She recommends:

- Geofencing is necessary.
- Some corrals proposed are too close to schools
- Some red zones may not be safe for scooters.
- Many reasons for red zones needed such as space emergency vehicles, loading, etc. Traffic engineers should take a second look to vet the red zones for safety.
- Program should be phased in.
- How many scooters are needed? With 81 corrals with 10 scooters each that is 800 scooters in La Jolla Village. Really? Perhaps half of that.
- A review after a period of time to assess how the program is working. City Council?
- Scooters can still be dumped in residential areas.
- One remedy is for a private company to collect and impound scooters improperly dumped. A company called Scooter Scooper is doing this.

**Shannon:** We need to figure out something better than painted boxes in public right of way on street to stage the scooters.

**Crisafi:** Can this be tied into valet or provide private parking spaces? **Reply:** Not feasible; there is signage on the pavement.

**Brady:** Motion to approve action of T & T committee, i.e. approving 81 corrals identified by T & T members and require the owners of the devices have them geofenced so that the users will continue to be charged until device is placed in the corral and also that the city improves the get it done app.

**Kane:** Recommended an amendment that corrals not be implemented until geofencing done and Get it Done app updated.

**Fitzgerald:** Speaking as handicapped person I will vote against motion because city does not recognize modifications and as currently presented the program is unenforceable.

**Neil:** Amend motion to remove items 72 and 80, corrals in front of Rec Center and Bishops School.

**Motion:** To approve action of T & T committee with 2 amendments above: (Brady/Neil) **Vote:** 4-10-2, ([per voting sheets](#)) **Motion fails**

**In Favor:** Brady, Gordon, Little, Neil

**Opposed:** Costello, Courtney, Fitzgerald, Ish, Jackson, Kane, Mangano, Manno, Rasmussen, Shannon, Weissman

**Abstain:** Courtney, Crisafi (chair)

**Motion:** Start with T & T motion with geofencing and get it done app upgrade done before corrals implemented, reduce number of corrals from 81 to 40 with analysis after 3 months to see if more needed, corrals selected comply with ordinance that none are within 500 feet of a school, red zones to be vetted by traffic engineering to make sure they are safe for scooters, City Council revisit the ordinance in 1 year for effectiveness and for any amendments needed. (Kane/Brady) **Vote:** 8-6-2, ([per voting sheets](#)), **Motion passes**

**In Favor:** Brady, Costello, Fitzgerald, Gordon, Ish, Kane, Shannon, Weissman

**Opposed:** Fitzgerald, Ish, Jackson, Little, Mangano, Manno

**Abstain:** Crisafi (chair), Courtney (?)

**11.2 Hershfield Residence – CDP #2134597 & SDP #2134595 Project and environmental appeal. 8230 Prestwick Dr. See exhibits and documents @ <http://www.lajollacpa.org>**

**To Ratify/withdraw the appeal(s) based on applicant's proposed and documented changes**

**Crisafi:** David Gordon and I had two meetings with applicant to review the proposed changes and to discuss what process is for withdrawal of project. We also had one meeting with the neighbors who had concerns and a second teleconference with these neighbors.

The process is either to continue on with the appeal with someone representing the CPA at the Planning Commission for the project and the City Council for the environmental appeal, or, if changes are significant enough there can be a decision to withdraw the appeal. That decision will get memorialized in the minutes and after the next meeting there will be communication with city staff. If the appeals are withdrawn there will have to be documentation and coordination of the changes with city planning since this is happening after all project actions are complete.

**Larry Hershfield:** Owner/Applicant. Eight items were appealed, six have been resolved because they were based on things we subsequently changed, outdated plans were shown to subcommittee, i.e. an item on a trellis that had been subsequently removed, factual questions articulated in appeal were resolved, so only 2 items left, #4 & #7 #4 relates to slot windows, we don't have slot windows on front of house, they are traditional windows. North side articulation we think is visible. We can go through plans whatever you want. The Hearing Officer said every letter he received regarding the project had to do with its height. We have made a proposal to Tony and David to lower the height 4'. We could not design house that way this year because of the CC&R governing but they are scheduled to expire at the end of this year. Assuming they do expire we have an agreement here that if you withdraw your appeals, we will commit to lower the home 4' which we think addresses most of the concerns of our neighbors. Lowering the house 4' makes the house 1' higher than the existing home.

**Chandra Slavin:** Architect. These are the changes:

- We added in the covered terrace and atrium on lower level to square footage. We also had to double the square footage for phantom garage. Showed chart of revised computations of square footage included in FAR.
- Showed photos of nearby houses showing other similar houses nearby.
- Showed drawing of house with reduction in height of 4' and reduced height of garage from 14' to 10' Original 21.7' taken down to 17.7'.
- Trellis was removed from original plan.
- To reduce height by 4' we are removing the head structure and parapet that goes around to cover hip roof structure required by CC&R's which will expire the end of this year.
- We will process a construction change for substantial conformance Jan. 1, to make above changes to reduce height.
- Showed drawing showing there are no slot windows as shown on outdated plans.
- Showed drawing of north elevation pointing out articulation.

- Showed drawing showing comparison of original plan with revised plan with reduced height superimposed.

**Courtney, Little:** Questioned meetings with Crisafi, Gordon and applicant as violation of Brown Act.

**Kane:** She has had experience working with Brown Act. You may not have serial meetings or consensus by telephone. You may not contact majority of members on any particular item when discussing policy. If providing information it is OK. You may not make an agreement out of public view. OK to discuss things or provide opinions.

**Neil:** Assuming that CC&R's expire, you do submit for const changes with substantial conformance, will we as trustees be able to confirm that this has happened. What structures do we have in place to insure that in January that happens.

**Crisafi:** If appeal is withdrawn, a copy of the full documentation needs to be with us, a copy for the applicant, a copy for DSD with confirmation for us that this is on the Coastal Permit as Exhibit A before Jan.1.

**Hershfield:** If we didn't do it you could sue us for breach of agreement. Our object is to be the best neighbors. Those are legal matters. We are not trying to get around anything.

Further discussion about CC&R's. It was determined that CC&R 's are not in purview of CPA.

Several neighbors voiced approval of the lowered height.

**Faye Strum:** concerned about geotechnical issues of very large basement. **Gordon** assured her that the city had thoroughly reviewed this issue.

**Pat Miller:** concerned about cumulative impact to neighborhood of very large structure.

**Little:** Motion to withdraw appeal based on word of Larry Hershfield.

**Neil:** Amend motion to be more specific on revised height. **Little:** Can't have conditions in motion.

**Kane:** If this will be moot by end of year, why do anything. Just suspend appeal. **Crisafi:** Can't suspend appeal; it will be docketed next month.

**Courtney:** Project has issues beyond height. Large basement on hillside lots not counted in FAR allows greater structures relative to buildable square footage of lot. Can't support motion.

**Motion:** withdraw appeal based on word of Larry Hershfield. (Little/Mangano) Vote: 5-10-1, Motion fails

**In Favor:** Costello, Jackson, Little, Mangano, Rasmussen

**Opposed:** Brady, Courtney, Fitzgerald, Gordon, Ish, Kane, Manno, Neil, Shannon, Weissman

**Abstain:** Crisafi: (chair)

**Motion:** Withdraw appeal based on highest point elevation of the structure revised at 338.58 feet above sea level based on documentation and incorporation of that document into the coastal permit as the high point of the building envelope. Chair returns with Aug. 1 with a hard plan. (Neil/Gordon) Vote: 13-1-2, Motion carries:

**In Favor:** Brady, Costello, Fitzgerald, Gordon, Ish, Jackson, Kane, Mangano, Manno, Neil, Rasmussen, Shannon, Weissman

**Opposed:** Courtney

**Abstain:** Little, Crisafi (chair)

**11.3. Kornberg Residence CEP 2605 Ellentown Rd., Project no. #624979, Process 3, CDP for the demolition of existing single dwelling and construction of 3,449 s.f., one-story single-dwelling unit with 462 s.f. attached garage and a 701 s.f. companion unit located at 2605 Ellentown Rd. The 0.3 acre site is in RS-1-4 zone and Coastal (Appealable) Overlay Zone within the La Jolla Community Plan area and CD1. DPR Motion: Findings can be made and motions passes 4-1-1.**

Pulled from 6 June 2019 LJCPA regular meeting.

**Marshall Horowitz,** neighbor: This area was subdivided, lots were sold and divided again long ago creating odd shaped lots. A small triangle shaped piece of applicant's lot protrudes into Mr. Horowitz's property. It is not landscaped and looks bad. Applicant plans to use this small area for an extra parking space. It appears that he has plans to landscape around the parking space, but Mr. Horowitz does not want the parking space so close to his house.

**Benny Chen:** Neighbor. Wants to make sure the right plan gets submitted – the one approved today. We weren't told about something he submitted previously that was different from what we were told about.

**Gordon:** This is a continual problem for our CPA. If you see something happening be sure to contact the someone at the city, the project manager.

**Merryweather:** Thinks roof deck on this new structure allowing owners to look down on them is what is annoying the neighbors.

**Kane:** DPR reviewed this project thoroughly.

**Motion:** Support DPR findings and motion. (Jackson/Gordon) Vote: 15-0-1, Motion carries

**In Favor:** Brady, Costello, Courtney, Fitzgerald, Gordon, Ish, Jackson, Kane, Little, Mangano, Manno, Neil, Rasmussen, Shannon, Weissman

**Opposed:** 0

**Abstain:** Crisafi (chair)

#### 11.4 Ratify appeal to City Council of the Children's Pool SCR (PTS 627990).

**Motion:** Ratify appeal to City Council of the Children's Pool SCR (PTS 627990) Courtney/Little) Vote: 14-0-2 ([per voting sheets](#)) Motion carries

**In Favor:** Brady, Costello, Courtney, Gordon, Ish, Jackson, Kane, Little, Mangano, Manno, Neil, Rasmussen, Shannon, Weissman

**Opposed:** 0

**Abstain:** Fitzgerald, Crisafi (chair)

Jackson left, reflected in vote count.

#### 11.5 Review of the McLaren/Coach and the Conrad billboards to advise the city that they are determined to be murals or advertisements and that they be regulated as such.

**Rasmussen:** PDO limits signs. Signs contain content relating to the business within the building, specifically the McLaren depiction of a race car even though they took the name off. I submit that it is still a sign. By contrast the Mexican motif above Galaxy Taco has a much broader cultural content than the McLaren sign. The Conrad sign, that replaced the Murals Program previously approved Blah, Blah, Blah mural, was not approved by the Murals Program and clearly has content. Marco Polo sign, too large for PDO rules, is clearly a sign. Those are the 3 I know of that we should make a decision about.

**Neil:** Could I add the Nine-Ten Restaurant sign? OK

**Little:** Trustees need to know history of murals in La Jolla. About 10 years ago Scott Peters came to the CPA to promote the Murals Program. We approved the murals concept, but we did not want this group to be referees or judges of art or murals. The several art associations involved in the Murals of La Jolla program are still in business to approve potential murals and are continuing to do it. I think we have to be careful when we approve or disapprove a McLaren sign because it puts us in the position of judges of art.

**Rasmussen:** This is a determination that these four depictions have content, nothing to do with art. Just because someone painted it does not make it art; It has content related to the adjoining business. This is a request that this body determine that these depictions are advertising and therefore fall under the PDO and must be regulated.

**Shannon/Costello:** If McLaren or Nine-Ten went out of business and a different business was there, would he sign then be art?

**Courtney:** We need to fine tune the policy to give direction to PDO committee.

**Rasmussen:** These four signs appear to exceed the content allowance under the PDO.

**Public Comment:** This is a grey area and we are the body that can direct the PDO Committee

**Merryweather:** If there is a car on the sign and the business underneath sells that car that is clearly a billboard.

**Forbes:** PDO committee member. At the meeting we were loath to determine what was art, advertisement, graphics or mural. We are conversant with the many pages of the sign regulations. It is difficult to define their application and it is a slippery road to distinguish art from advertising. We said we would regulate things when they interfered with lighting, view corridors, safety or when they were obviously advertising. I believe that none of these signs meet that.

**Motion:** Advise the city that the McLaren, Conrad, Marco Polo and Nine-Ten Prospect signs are billboards and need to be regulated by the PDO. (Rasmussen/Kane)

**Manno:** The Murals maintained by the Athenaeum, whether good or bad, are art. These four businesses are using their buildings for advertisement. Their signs were not initiated by the Murals Program and are entirely different.

**Vote:** 11-3-1, Motion carries.

**In Favor:** Costello, Courtney, Gordon, Ish, Kane, Little, Mangano, Manno, Rasmussen, Shannon, Weissman

**Opposed:** Brady, Fitzgerald, Neil

**Abstain:** Crisafi (chair)

**11.6 Banners – Matt Mangano compose a summary for this?** Information only

**Mangano:** Banners, particularly on overpasses, have been brought to this committee several times. Code Compliance has been alerted of this issue. I followed up with Caltrans, the Vehicle Code, UCSD, the LJ Historical Society and the City of San Diego. As of now the issue of temporary banners on overpasses is a grey area. With Code Compliance alerted, I'm sure the city will address this issue and create a permit and fee structure for it. The Vehicle Code provided no answer. The San Diego Municipal Code has very specific regulations about banners and signs but does not address overpasses. The latter may be implied. This Committee will function more effectively if anyone who wants to bring this issue here does their own research to support their position. My view here is objective.

**Miller:** Is there a committee in La Jolla that addresses these banners? Besides overpasses there is a proliferation of banners on fences. **Reply:** Banners on private property is a Code Compliance issue.

**Forbes:** No banners are allowed in the Cultural Zone. The banners on the Rec Center fence will be addressed at the next Park & Rec meeting.

**XX. Adjourn 9:48 to next regular LJCPA Meeting: Thursday, August 1, 2019 at 6:00 pm.**

**LA JOLLA DEVELOPMENT PERMIT REVIEW COMMITTEE**  
**LA JOLLA COMMUNITY PLANNING ASSOCIATION**

Meeting Minutes – Tuesday July 9, 2019 – 4:00 pm  
La Jolla Recreation Center – 615 Prospect Street, Room 1  
La Jolla, California

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1. *Public comments are an opportunity to share your opinion with the committee members. Comments should not be directed at the applicant team*
  2. *Plans are available for in-depth review by contacting the project manager at the city's Development Services Department before the meeting.*
  3. *Public comments will be strictly limited to 2 minutes per person. Please review the following meeting minutes. If another member of the public has already said the same thing tonight or at a previous meeting, please move on to new information. It is not necessary to repeat previous comments.*
  4. ***Applicants:*** *Please present your project as succinctly as possible. Speak clearly and CONCISELY.*
- 

**1. NON-AGENDA PUBLIC COMMENT**

- 2 minutes per person
- 

**2. APPROVAL OF MEETING MINUTES**

- Meeting June 11, 2019
- 

**3. FINAL REVIEW 7/9/2019**

Project Name: Bird Rock Condos – 5656 La Jolla Blvd  
Permits: CDP/TM  
Project No.: 595139 DPM: Pancho Mendoza  
Zone: Applicant: Robert Bateman  
Project Info: <https://opensd.sandiego.gov/Web/Projects/Details/595139>

LA JOLLA: (Process 3) Coastal Development Permit and Tentative Map for the creation of four residential condominium units and two commercial condominium units under construction at 5656 La Jolla Boulevard. The 0.17-acre site is in Zone 4 of the La Jolla Planned District, Coastal (Non-Appealable) overlay zone within the La Jolla Community Plan Area. Council District 1.

**6/11/2019 – APPLICANT PRESENTATION - Bateman**

- 4 residential + 2 commercial condos
- No different construction, project received CDP recommendation from this committee.
- Drawings for building have not changed. Just tentative map for condos.

- Lift for parking added significant cost. They would not have used it if they could fit another space.

#### **6/11/2019 – PUBLIC COMMENT**

- Alcorn – This is the standard procedure to make condos, seems appropriate.
- Alcorn – Who is architect (response: Marengo Morton)
- Alcorn – Lift as last resort is expensive but how practical? 600sf loading area is USUALLY vacant (which could add potential parking).

#### **6/11/2019 – COMMITTEE DELIBERATION**

- Leira: Any comment from city on affordability? (response: no comments from city, condos still add a lower entry point to ownership)
- Gaenzle: First floor parking security vs public access? How does public use tandem spaces? (response: unknown, one space is actually a 3 car lift)
- Leira: Would like owner to explain how parking can be utilized. (response: Condo plan will include the data of which parking spaces are designated to which units) Would like to see allocation of common space, private outdoor space, parking designations.
- Jackson: Employee parking needs to be reasonably convenient to prevent employees parking on street.
- Will: walkability is adequate for commercial patrons, but don't want employees parking in residential zones all day long.
- Leira: How is additional area in rear used? (response: 600sf Loading area and striped walking for ADA parking.)
- Jackson/Leira: Where is trash pick-up? (response: rear of condo)
- Gaenzle: Bird Rock Station parking is similar, added large gate, no customer parking available.
- Collins: How does tandem parking work for commercial
- Leira: Project approved as apartment and commercial is different than condos. Management can "manage" parking issues. Want to work to resolve future problems with 6 independent owners.

#### **6/11/2019 – DELIVER FOR NEXT PRESENTATION**

- Heavy color pen to identify allocation of parking, outdoor area, trash (per unit)
- How will owner handle parking security? How enforce designated parking? With/Without Gate?
- Persuade us that the parking plan works.
- APPLICANT WILL RETURN NEXT WEEK

#### **7/9/2019 – APPLICANT PRESENTATION**

- Presented marked up plans with color for parking, outdoor area, and trash. Common roof deck
- Individual patios and balconies
- Parking: all gated. Each unit has designated and coded access.
- Gated parking so employee parking not customer parking
- Designated parking and gate are in recorded CCRs

#### **7/9/2019 – PUBLIC COMMENT**

- Miller: elevations on pg 4. (those are above sea level)
- Alcorn: where did gates come up (applicant verbal response)

#### **7/9/2019 – COMMITTEE DELIBERATION**

- Kane: Any FAR left on table? (Applicant Response: Not aware of any)



- Kane: turnaround/backout space? (15' alley + 2.5' dedication + rear setback provides 21' requirement)
- Leira – parking might not work
- Kane – looking out for potential buyers
- Will – no physical change
- Leira – with condominiums there is specific parking ownership issues that were not relevant when reviewed as apartments.

**7/9/2019 – DELIVER NEXT TIME**

- Elevation, operation, and dimensions of gates
- Dimension from face of gate to far side of alley. Is it adequate?
- What is across the street?
- Is there inter unit security/fence?

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**4. FINAL REVIEW 7/9/2019**

Project Name: 2677 Brookmead Ln  
Permits: CDP  
Project No.: 630967 DPM: Xavier Del Valle  
Zone: RS-1-2 Applicant: James Alcorn  
Project Info: <https://opensd.sandiego.gov/Web/Projects/Details/630967>

LA JOLLA - (Process 3) Coastal Development Permit for the construction of a new residential single dwelling unit and attached garage for a total of 11,100 square feet of construction on a vacant lot located at 2677 Brookmead Lane. The 1.28-acre project site is located in the RS-1-2 zone and Coastal (Appealable) Overlay Zone within the La Jolla Community Plan area, and Council District 1.

**6/11/2019 – APPLICANT PRESENTATION - Alcorn**

- 1.28 acre site in LJ Farms. 9,500sf house, 1,600sf garage, 11,000sf total under single story
- Architectural element to shade (cool) roof and support PV panels
- 16' max interior volume height 24' to underside of roof shade structure
- Tennis court, high landscaping on Black Horse boundary
- Any tennis court lights will be shielded from neighbors
- Low sunshades on South elevation windows

**6/11/2019 – PUBLIC COMMENT**

- Miller - What is total height of shade structure (response: approx 25' total) Where is motor for swimming pool? Will noise affect Black Horse? (response: They will not affect Black horse. Applicant's wife is head of HOA at Black Horse and will never hear the end of it if it does.)

**6/11/2019 – COMMITTEE DELIBERATION**

- Leira – is that a canary palm (response: yes, and it will remain)
- Gaenzle – Floor Plan? Is it really that big (response: yes, rooms are very large) Is phantom floor doubling the area? (response: no, under the threshold for phantom floor counting as GFA)
- Gaenzle: How controlling western sun? (response: not too much glass on West, Good shade from line of trees on West PL)

- Leira – does it fit the neighborhood?
- Gaenzle – Show us where the 25' high shade structure is in plan. (presented)
- Will – How close is tall shade structure to western PL? approx. 20-25'
- Gaenzle – Distance to Torrey Pines? (approx. 600')
- Leira – How relate to Black Horse? Tighter

**6/11/2019 – DELIVER FOR NEXT PRESENTATION**

- Aerial photo with proposed footprint in the middle.
- Site photos from lot to East (of Black Horse)

**7/9/2019 – APPLICANT PRESENTATION**

- Brief re-orientation
- Blackhorse has tall tree line and foliage, not so much at this property so applicant will provide landscape buffer.
- Maximum 3.5' to level building footprint
- 28' max height. FAR .20 where .45 allowed
- Underside of roofs and ceilings will be wood boards

**7/9/2019 – PUBLIC COMMENT**

- Miller: where are motors for pool equip, AC, ... also tennis lights (tennis lights will be shielded to not trespass, AC units between buildings (over 20' from PL) Pool equipment will be over 20' from PL.

**7/9/2019 – COMMITTEE DELIBERATION**

- Leira: Likes the existing cross buck fence between property and home to West.
- Welsh: How will glass hold up? Perhaps add shear or flagpole.
- Leira: Will PV panels be set back (yes, not visible from public)
- Kane: impervious coverage? Any rainwater harvesting? You should! (building is 20%, motorcourt is permeable)

**7/9/2019 – COMMITTEE MOTION**

- Findings CAN (Collins/Leira)
- In Favor: Collins, Gaenzle, Kane, Leira, Jackson, Welsh
- Opposed: none
- Abstain: Will (as chair)
- Motion **PASSES** 6-0-1

**LA JOLLA DEVELOPMENT PERMIT REVIEW COMMITTEE**  
**LA JOLLA COMMUNITY PLANNING ASSOCIATION**

Meeting Minutes – Tuesday July 16, 2019 – 4:00 pm  
La Jolla Recreation Center – 615 Prospect Street, Room 1  
La Jolla, California

- 
1. *Public comments are an opportunity to share your opinion with the committee members. Comments should not be directed at the applicant team*
  2. *Plans are available for in-depth review by contacting the project manager at the city's Development Services Department before the meeting. Hey there!*
  3. *Public comments will be strictly limited to 2 minutes per person. Please review the following meeting minutes. If another member of the public has already said the same thing tonight or at a previous meeting, please move on to new information. It is not necessary to repeat previous comments.*
  4. ***Applicants:*** *Please present your project as succinctly as possible. Speak clearly and CONCISELY.*
- 

**1. NON-AGENDA PUBLIC COMMENT**

- 2 minutes per person
- 

**1. APPROVAL OF MEETING MINUTES**

- Meeting July 9, 2019
- 

**1. FINAL REVIEW 7/16/2019**

Project Name: Bird Rock Condos – 5656 La Jolla Blvd  
Permits: CDP/TM  
Project No.: 595139 DPM: Pancho Mendoza  
Zone: Applicant: Robert Bateman  
Project Info: <https://opensd.sandiego.gov/Web/Projects/Details/595139>

LA JOLLA: (Process 3) Coastal Development Permit and Tentative Map for the creation of four residential condominium units and two commercial condominium units under construction at 5656 La Jolla Boulevard. The 0.17-acre site is in Zone 4 of the La Jolla Planned District, Coastal (Non-Appealable) overlay zone within the La Jolla Community Plan Area. Council District 1.

**6/11/2019 – APPLICANT PRESENTATION - Bateman**

- 4 residential + 2 commercial condos
- No different construction, project received CDP recommendation from this committee.
- Drawings for building have not changed. Just tentative map for condos.
- Lift for parking added significant cost. They would not have used it if they could fit another space.

**6/11/2019 – PUBLIC COMMENT**

- Alcorn – This is the standard procedure to make condos, seems appropriate.
- Alcorn – Who is architect (response: Marengo Morton)
- Alcorn – Lift as last resort is expensive but how practical? 600sf loading area is USUALLY vacant (which could add potential parking).

**6/11/2019 – COMMITTEE DELIBERATION**

- Leira: Any comment from city on affordability? (response: no comments from city, condos still add a lower entry point to ownership)
- Gaenzle: First floor parking security vs public access? How does public use tandem spaces? (response: unknown, one space is actually a 3 car lift)
- Leira: Would like owner to explain how parking can be utilized. (response: Condo plan will include the data of which parking spaces are designated to which units) Would like to see allocation of common space, private outdoor space, parking designations.
- Jackson: Employee parking needs to be reasonably convenient to prevent employees parking on street.
- Will: walkability is adequate for commercial patrons, but don't want employees parking in residential zones all day long.
- Leira: How is additional area in rear used? (response: 600sf Loading area and striped walking for ADA parking.)
- Jackson/Leira: Where is trash pick-up? (response: rear of condo)
- Gaenzle: Bird Rock Station parking is similar, added large gate, no customer parking available.
- Collins: How does tandem parking work for commercial
- Leira: Project approved as apartment and commercial is different than condos. Management can "manage" parking issues. Want to work to resolve future problems with 6 independent owners.

**6/11/2019 – DELIVER FOR NEXT PRESENTATION**

- Heavy color pen to identify allocation of parking, outdoor area, trash (per unit)
- How will owner handle parking security? How enforce designated parking? With/Without Gate?
- Persuade us that the parking plan works.
- APPLICANT WILL RETURN NEXT WEEK

**7/9/2019 – APPLICANT PRESENTATION**

- Presented marked up plans with color for parking, outdoor area, and trash. Common roof deck
- Individual patios and balconies
- Parking: all gated. Each unit has designated and coded access.
- Gated parking so employee parking not customer parking
- Designated parking and gate are in recorded CCRs

**7/9/2019 – PUBLIC COMMENT**

- Miller: elevations on pg 4. (those are above sea level)
- Alcorn: where did gates come up (applicant verbal response)

**7/9/2019 – COMMITTEE DELIBERATION**

- Kane: Any FAR left on table? (Applicant Response: Not aware of any)
- Kane: turnaround/backout space? (15' alley + 2.5' dedication + rear setback provides 21' requirement)
- Leira – parking might not work due to geometrics and gates/. How wide are the gates and posts
- Kane – looking out for potential buyers

- Will – no physical change
- Leira – with condominiums there are specific parking ownership issues that were not relevant when reviewed as apartments.

**7/9/2019 – DELIVER NEXT TIME**

- Elevation, operation, and dimensions of gates
- Dimension from face of gate to far side of alley. Is it adequate?
- What is across the street?
- Is there inter unit security/fence?

**7/16/2019 – APPLICANT PRESENTATION**

- Presented West elevation with garage widths. Roll-up doors with open slats
- Clear width at alley is 20’.
- No internal dividing fences inside garage

**7/16/2019 – PUBLIC COMMENT**

- none

**7/16/2019 – COMMITTEE DELIBERATION**

- Costello – is there tandem parking (yes) ... seems crowded to me

**7/16/2019 – COMMITTEE MOTION**

- Findings CAN be made (Kane/Jackson)
- In Favor: Jackson, Kane, Welsh, Leira
- Opposed: Costello
- Abstain: Will (as chair)
- Motion PASSES 4-1-1

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**4. FINAL REVIEW 7/16/2019**

Project Name: Vale Soil Nail Wall – 1643 Valdes Dr  
Permits: Variance - NDP  
Project No.: 621967 DPM: Pancho Mendoza  
Zone: RS-1-7 Applicant: Mahmoud Oriqat  
Project Info: <https://opensd.sandiego.gov/Web/Projects/Details/621967>

LA JOLLA- (Process 3) Variance and Neighborhood Development Permit for nonstandard soil nailing wall, encroaching into the public right of way, to stabilize the eroded area on Property with existing single-family house at 1643 Valdes Dr. the 0.13-acre site is located in the RS-1-7 Base Zone, Coastal overlay (non-appealable) of the La Jolla Community Plan Area. Council District 1.

**6/11/2019 – APPLICANT PRESENTATION**

- APPLICANT DID NOT PRESENT

**6/18/2019 – APPLICANT PRESENTATION – Mahmoud Oriqat**

- Mary Elisabeth (Betty) Vale – why necessary? Roots from two trees began to expand outside the steep “cut” slope face (15-18’ tall.) at soils engineers suggestion they removed the trees. Too late, sandstone has been destabilized and crumbles into street. Dangerous. Contractor can

replicate look of existing sandstone. Soil nail wall like Torrey Pines project. Storm drain system is blocked.

- Valdes is a dead-end so any failure will block only access to remaining 8 homes.
- Soil nail is the only way to work in this tight area. City is in favor but requires discretionary action (taller than 6')
- 100 linear feet. Maximum height = 18', 12' and 13' at ends
- Mimick the look of the sandstone
- Brow Ditch to divert drainage to ends of wall and then through a curb outlet.

#### **6/18/2019 – PUBLIC COMMENT**

- 1 – it has worked in the past, willing to see construction, built similar wall with planting pockets, would never know it's there. Everyone suffering from erosion. Geotech did an excellent job on their wall.
- 2 – OBGYN need to get-in, get out, want this work done, confident in applicants ability to ensure access, applicant willing to provide temporary parking down hill of any short term blockage.
- 3 – believe this is a good project
- Alcorn – room in front of wall for planting? (applicant response: none) Is the driveway above close to top of wall? Will there be a guardrail? There is an opportunity to improve/enhance safety on property (applicant response: existing fence)

#### **6/18/2019 – COMMITTEE DELIBERATION**

- Jackson –
  - narrow street, what will access to neighbors be? (applicant response: contractor provides traffic control with flagmen – room to stage pump out of ROW and hose/pump to shotcrete wall) Jackson: prefer to see a plan before it starts construction.
  - Are there any neighborhood objections? (applicant response: none to her knowledge)
  - What could go wrong in construction? (applicant response: geo engineer will be involved throughout construction) Jackson: example: there were undocumented utility lines on Torrey Pines. (applicant response: this one is on private property)
- Gaenzle, would like to understand more about the wall
- Gaenzle – I ask questions to understand the project. Is the property across the street higher or lower.
- Leira – concerned where project encroaches into ROW. Concerned with concentrated flow at curb outlet.
- Gaenzle – suggest something be done to prevent fall off top of wall from driveway
- Jackson – we are concerned with community impact and how the project impacts it's surroundings. Be prepared to explain water flow and construction management to maintain neighborhood.

#### **6/18/2019 – FOR NEXT MEETING**

- Tape/photoshop together a collage of photos with best attempt to draw proposed wall on "streetscape".
- Provide 5 sections to illustrate wall, where is edge of asphalt and where is PL. extend section to include driveway above. Show where encroaches into ROW (big enough to see)
- larger aerial photo and how does it blend with nearby walls. Similar to page 2 of handout. 11x17 is not adequate

- email copy of drainage study, Demonstrate drainage, where does it go after curb outlet, where does it go currently
- Principals/Details on how you will manage construction and maintain access for neighbors

## **7/16/2019 – APPLICANT DID NOT PRESENT**

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### **5. COMMUNITY ACTION ITEM 7/16/2019**

Proposed changes to be placed on the list for the SDMC 13<sup>th</sup> Code Revision: re:

- Serial Permitting
- Garage to Carport Conversions

Presenter: David Ish

#### **7/16/2019 –DISCUSSION ON CARPORTS:**

- Ish: Garage to carport conversion: No improvement to neighborhood quality
- Ish: Read the proposed changes: No FAR exemption for open carports of ANY kind
- Ish: Currently the exempt square footage is then used to make houses bigger, Then door goes in and “open” carports are illegally converted to “enclosed” garages.
- Kane: Is there a compromise that provides options
- Kane: How do we deal with non-conforming setbacks
- Leira: Definition of Carport as roof and posts, thats what makes it almost transparent and not contribute to bulk and scale
- Will: Clarified starting point as what city says (doesn’t matter if called carport or garage, currently the FAR exemption is not dependant on the definition of carport or garage, all that matters is if at least 2 sides are each at least 75% open.
- Leira: in favor of addressing the definition of carport
- Will: There are two “benefits” to carports over garages.
  - Less visual bulk and scale (maybe not zero, but definitely less).
  - Open covered parking ensured the space remains available for parking. Most residents use enclosed garages for storage resulting on cars on streets.
- Will: What if FAR exemption was applied at a % of square footage, might provide equal trade-off that benefits home owner and community
- Leira: consistent abuse of code. Easiest way to manage it is to include carports in FAR anyway.
- Jackson: what are the statistics of abuse. There is SOME benefit to carports, careful not to throw out the baby with the bathwater.
- Leira: Fix the definition. Fix the code compliance, improve the methodologies (for code enforcement)
- Will: A truly open carport still deserves some relief from FAR calculations. What about if ...  
Posts only, ledgered to FAR countable structure OK, no new enclosure walls or doors.

#### **7/16/2019 – COMMITTEE MOTION ON CARPORTS:**



- Recommend to CPA the following code edits to SDMC 113.0234(a)(6). “The intent of this FAR exemption is to provide relief from FAR restrictions for a simple structure that provides overhead shelter for automobiles where the visual impact to the neighborhood is at a minimum. Carports shall be exempt from FAR if they are composed of a roof and posts only with a maximum 4 posts (up to 8”x8” each) and no walls or doors/gates, the carport may be attached on one side only to the main house, any other “open parking structure” is countable as FAR.” (Kane/Costello)
- In Favor: Costello, Jackson, Kane, Welsh, Leira
- Opposed: none
- Abstain: Will (as chair)
- Motion **PASSES** 5-0-1

**7/16/2019 – DISCUSSION ON SERIAL PERMITTING:**

- Ish: There is no current code provision to prohibit serial permitting, developers are building temporary improvements to circumvent 50% rule.
- Will: There is a serial permitting prohibition in place but it only applies to the homes within the first public right of way (waterfront) where additions are limited to 10%.
- Ish: propose code change to 50% rule which would prohibit subsequent EXEMPT remodels for a period of 5 years following Final Inspection.
- Will: proposed amendment to allow subsequent remodels within the 5 year period provided that the first and second remodel when viewed as a single remodel would still qualify for EXEMPT status.

**7/16/2019 – COMMITTEE MOTION ON SERIAL PERMITTING:**

- Recommend to CPA the following code edits to SDMC 126.0704(a) Improvements to existing structures are exempt, except ... (to add a new number following item number 5.) “The demolition or removal of 50% or less of the exterior walls of the existing structures if the proposed application is received within 5 years of Final Inspection of a previous 50% Exempt remodel on the same structure. An exemption will be allowed within the 5 year time frame if 50% of the exterior walls of the original structure (as it existed 5 years ago) will still remain.” (Kane/Costello)
- In Favor: Costello, Jackson, Kane, Welsh, Leira
- Opposed: none
- Abstain: Will (as chair)
- Motion **PASSES** 5-0-1



**LA JOLLA TRAFFIC AND TRANSPORTATION BOARD**  
**Regular Meeting: Wednesday July 17, 2019**

**Members Present:** Dave Abrams (Chairperson) LJCPA, Brian Earley (Vice Chairperson) LJSA, Tom Brady LJCPA, Donna Aprea LJTC, Nancy Warwick LJTC, Natalie Aguirre LJVMA, Robert Mackey LJVMA, Ross Rudolph LJSA, Erik Gantzel BRCC

**Members Absent:** Patrick Ryan, BRCC

**Approve Minutes of:** June 19, 2019 **Motion to Approve Amended Minutes: Mackey, Second: Brady 8-0-1 (Gantzel)**

**Public Comments on Non-Agenda LJ&T Matters:** No Public Comments

**Agenda Item 1: Election of Officers-Nominated Candidates:**

**Chairperson:** Dave Abrams  
**Vice Chairperson:** Brian Earley  
**Secretary:** Donna Aprea

**Motion to Approve 2019-2020 Slate of Officers: Brady, Second: Mackey 6-0-3 (Abrams, Earley, Aprea)**

**Agenda Item 2: Micro-Mobility Parking Corrals for La Jolla (Cont'd Item)**

City proposal for placement of numerous defined spaces within the public street for the parking of dockless scooters and bicycles. (Mauricio Medina) **Action Item**

At the June 17 LJ&T Meeting the Board was unable to pass any Motion approving the micro-mobility parking corrals to the LJCPA and the agenda item was continued to this Meeting. The City Ordinance has been in effect since July 1 allowing our Board time to reconsider a recommendation on the number and location of parking corrals to give to LJCPA for their Meeting tomorrow night.

Mauricio explained the Ordinance and the reasoning behind it and once again is looking for a recommendation of what list to provide to City Traffic Engineers:

*A new City Ordinance prohibits operation of the dockless vehicles on sidewalks effective July 1. As a result of this Ordinance the City wants to expand their parking corrals program City wide so there are places, not on the sidewalk, where riders can park the bikes and scooters on the public street. The proposed parking corrals already started downtown and are generally white painted squares with painted pictures of scooters and bikes inside the square that are adjacent to red zones in the street. City Staff is reaching out to Council Offices to help facilitate public input on a list of candidate locations for parking corrals of dockless scooters and bikes. Their initial list*

*had around 158 corral locations in the village of La Jolla and the surrounding neighborhoods and they requested feedback by June 24th. Mauricio shared this list with the chairs and presidents of the La Jolla community planning groups and met with them in order to organize how best to facilitate public input to send back to City staff. At that meeting, there was strong pushback against placing these corrals in residential neighborhoods. As a result, he went through the list and took out candidate locations that he saw as residential. He is asking La Jolla Traffic and Transportation to vote on which option to send to City staff, the list with residential parking corrals, or the list without residential parking corrals.*

Mauricio reiterated that the parking corrals vary in size with the smallest one being 10x6 and the largest being 20x6. Parking corrals were removed from residential neighborhoods by the request of the presidents of the community groups and Lifeguards requested they be removed from the vicinity of their Stations reducing the City generated list from 158 to 103. Where there are no parking corrals Operators are allowed to stage them on the sidewalk by the 4 by 40 rule- 4 devices 40' apart.

Mauricio informed the audience that the Mayor sent out a letter to the Operators detailing the rules and regulations of the Ordinance and advising them that their compliance rate will be reviewed in six months before their permits can be renewed.

Mauricio is here to take comments back to City Staff only about the locations of the parking corrals but not about the rules and regulations of the Ordinance. Dave followed up with that directing audience members to keep comments centered on candidate parking corrals and not about the actual Ordinance or the merits of the devices. Dave expressed disappointment that several times City Staff who devised these 158 proposed locations were asked to attend our Meeting and explain their rationale behind the locations and how they will be implemented, but City Staff declined to attend. In addition, there are issues with the GetitDone App. Residents who have these devices on their property or are finding them in places they should not be are having difficulty using the App to notify City Staff. Mauricio acknowledged growing pains with the Getitdone App but if residents use the 'Other' category, they can still put in a request for the removal of the devices.

#### **Public Comments:**

**Diane Kane** is in the audience and asked how many devices can be accommodated by the parking corrals. Mauricio responded the smallest corral is 10x6 and can probably accommodate half a dozen while the largest is 20x6 and can probably accommodate over a dozen.

**Suzanne Baracchini** asked what incentive does the Rider have for returning the device to a parking corral. Mauricio explained it's not on the User but the responsibility on the Operators of these devices. The Mayor sent a letter to them explaining the Ordinance is now in effect and their compliance with the Ordinance will be reviewed every six months for their permits to be renewed. It's up to the Operators to educate their Users on the rules and regulations of the Ordinance in order to maintain compliance.

Suzanne believes the onus should be on the Rider and the Operator should have the meter continue to run until the device is placed in a designated parking corral and she asked Mauricio to please ask someone at the City if that can be done. It seems like an easy solution. Dave responded that LJT&T Board Member Patrick Ryan also suggested the City pursue that course of action which would certainly help with compliance issues.

**Craig Thompson** noted the shared mobility devices shall not be parked, displayed, offered, or made available for rent within 40 feet of another shared mobility device on a City sidewalk or other City property located in the beach impact area in the Parking Impact Overlay Zone. He asked Mauricio and City Staff several times if the Village was in the beach impact area of the parking impact overlay zone and no one responded to him with an answer.

Craig is asking how can we get a limited number of parking corrals for these scooters. Dave asked Mauricio if he spoke to City Staff about installing them in phases. Mauricio responded that he did ask City Staff if they could do a stage rollout with the first 25% on the list but he was told it was not feasible. Diane told Mauricio that someone has to speak to this because just saying No is not an answer.

**Ira Parker** inquired about scooters in the residential zones; will they be staged on sidewalks or in parking corrals. Mauricio explained that if there are no parking corrals then the 4 by 40 rule applies. Natalie responded to him they will probably be on the sidewalks because residential zones were removed from the candidate list. Residents were happy about that however the 4 by 40 will now apply and they will be staged on sidewalks.

**Janet Collins** goes out every morning to see if Operators are staging the devices by 4 by 40' and they are not staging them per the rules of the ordinance. They are staging them wherever they want to put them and she has pictures of them staging their devices by the dozen on every half block. The 4 by 40 rule is not working.

**Catharine Douglass** is advising that the proliferation of devices have been considerably reduced because the \$150.00 unit fee went into effect, therefore, whatever Motion is put forward should include a phase-in because she believes the City does not have the right to say to a Community that we are not going to phase them in because that is not feasible. It is possible to phase them in, it's not that difficult to do.

**Stone Douglass** is asking does putting a parking corral on the corner obviate the 4 by 40 rule to the entire block because that may be more preferable than having them staged every 40'. He clarified that if there is a parking corral on the corner will there then be staging 40' away from it. Craig Thompson responded that it completes the entire block.

**Diane Kane** asked Mauricio if anyone from City Staff has been assigned to enforce the Ordinance. Mauricio responded that the Police Department will be enforcing it and they have been making contact with Riders they see using them on sidewalks and doubling up.

**Craig Thompson** commented that in La Jolla, there have been 434 “Get it Done” requests submitted from July 1st through July 11<sup>th</sup>, 206 (47.4%) have been for scooter related issues. He requested information from the Freedom of Information Act; the Department of Sanitation Services did not impound any scooters from July 1 through July 6 and the Police Department Northern Division issued no citations for them.

**Ira Parker** advised that as a property owner he has some liability for whatever happens in front of his property so what if someone trips over a scooter that was left on his property? If he does not want that kind of liability can he take the scooter and trash it? Dave responded that has been done.

### **Board Discussion**

**Robert** informed the Board that he occasionally uses Scooters and prefers the Lyft because they most adhere to the rules of the Ordinance. Lyft stages their devices by the 4 by 40 rule. The Bird does not follow rules of the Ordinance at all, and the newest scooter, Skip, is too new to make a determination.

He went downtown several times to do some research on their parking corrals; to see how they are working out and to talk to some people about them. They like the concept of the parking corrals but in limited fashion. In the early morning hours between 2-8 am Operators stage their devices inside the parking corrals and they are somewhat organized. But after that time, it goes back into chaos on the sidewalks. Once people are up and start to use them, they are left scattered on the sidewalk and the parking corrals become useless.

Robert and Natalie both noticed that the scooter count has been down and they are not sure if it's because operators must pay \$150.00 for each device or if its because of Comic-Con. Operators may be limiting the number of devices here in favor of increasing them for Comic-Con or it may be the cost of staging them. Robert did some math and if there are roughly 200 devices then a limited amount of parking corrals, perhaps 10-20 would be sufficient. There is concern among residents to protect the red zones that are used extensively by Fedex, UPS, USPS and food delivery trucks. Robert had seen one red zone area where the Board agreed a parking corral could be installed but a day later, he saw a fire truck and ambulance in that same red zone area.

The data used by City traffic engineers to determine the amount of parking corrals for the Village a long time ago does not apply in the current situation. There is no reason not to phase in the number of parking corrals based on what we see today. Robert would start with 10 parking corrals and phase them in on an as needed basis.

**Tom** noted there must be some number between 10 and 158 that this Board can recommend and its unfortunate that we are trying to do that when questions cannot be answered on the City level. The City just came out with a Twitter Letter on July 12 for the Operators but they had

a year to learn from Santa Monica how to work with the dockless bikes and they did not do that, as a result of that we have these devices scattered all over our sidewalks. If we do not recommend any parking corrals, we will be left with what we've got going on now.

Tom noted several years ago La Jolla did not want docked bikes on our public right of way and we did not get them; instead now we have dockless scooters scattered all over our Community. The technology is there for the Operators to geofence their devices so that the rider continues to be charged until their device is left in a parking corral. Riders will have the incentive to return their devices to a parking corral if they know they will continue to be charged if they leave them on the sidewalks.

The City in their efforts to push these dockless devices on the Communities is making some big mistakes not enforcing the Ordinance but regardless LJT&T must decide on the number of parking corrals we want installed otherwise we are going to be left with a mess on our sidewalks.

**Natalie** agrees with Tom about the need to give a recommendation to the City to get these devices off the sidewalks for liability issues but at the same time it doesn't make any sense to her that Operators are also allowed to stage them on the sidewalk. However, that is being revisited every 6 months. She believes the devices need to be geofenced for speed and operators need to educate their Users. There is some advertisement on these devices but not any posted rules such as the speed of the device and no riding on sidewalks. These rules should be posted on the devices.

Natalie mentioned the need for parking corrals in the neighborhoods especially where the Airbnb's are located. Airbnb users are frequent users of the dockless devices and everyone knows where the Airbnb's are located. If parking corrals are not installed in neighborhoods they will be scattered on the street. Parking Corrals should also be installed in some beach areas.

**Ross** believes it is really straight forward; we either have parking corrals or we have them on the sidewalks. There should be more of them to keep them from having to be staged on the sidewalks not less of them.

In the middle of Board discussion Catharine Douglass reminded the Board that if there are parking corrals installed on the street then Operators cannot stage them on the sidewalk but there is nothing that says the Riders cannot still leave them wherever. Natalie responded to that saying that the Operators know where these things are when they come to pick them up and they can find where they go.

**Nancy** supports a small number of parking corrals for starting off but takes issue with a large number of them.

Dave senses the Board reached the conclusion that parking corrals are needed but again the number of them is still a sticky point. Tom asked Catharine about the number of parking corrals they decided on after Mauricio removed the residential streets and Catharine said the group started with 122 and reduced that number down to 81 but the group felt pressure to come up with a high number of them.

After a Motion was formulated Board discussion continued with final comments:

**Ross-** Users have to be forced to put their devices back into a corral; that is a key enforcement issue.

**Robert** – does not make any sense to include the Ordinance verbiage in the Motion since the City would not be making any modifications to the Ordinance right away and it will cause some confusion. Mauricio responded the Permits will be reviewed every six months not the Ordinance.

**Erik-** supports the 81 parking corrals because the Ordinance is never going to work unless we get the corrals installed and right now, we have a say where they are going.

**Natalie-** we need parking corrals in the neighborhoods or they will be lying around neighborhood sidewalks.

**Nancy-** what about the parking corrals being too close to the Schools. Should we lower the 81 to exclude them. Dave responded the City provided a list and they used that list to determine the 81 locations and it was presumed the list of locations was keeping with the ordinance.

**Motion to recommend that the City install micro-mobility parking corrals at 81 locations per the Ordinance and require the City of San Diego to have the Owners and Operators of the Dockless Micro-Mobility Devices geofenced so that the Rider is still charged until the device is left in a parking corral and that the City improve the Get It Done App so that it is more user friendly and is coordinated with the enforcement requirements of the Ordinance: Brady, Second: Rudolph 6-3-0 ( Mackey, Warwick, Aprea)**

**Agenda Item 3: La Jolla Art and Wine Festival-**Request for Temporary Street Closures on portions of Girard Ave, Wall Street, and Silverado Street for the 11<sup>th</sup> annual fundraiser event benefiting La Jolla Public Schools on Saturday and Sunday October 12-13, 2019 (Laurel McFarlane) **Action Item**

*Event Set up Friday 10/11/19 5:00 pm*

*Event Starts Saturday 10/12/19 10:00 am*

*Event Ends: Sunday 10/13/19 6:00 pm*

*Dismantle: Sunday 10/13/19 11:00pm*

**No Parking Begins** for Girard on Prospect to Torrey Pines, both sides of the street, starting Friday, October 11 5:00 pm to Sunday October 13 at 11:00pm

**Street closures begin** Friday Oct 11 at 5:00 pm for set-up of load ins and end Sunday October 13 at 11:00 pm for clean- up and load out. 24- hour Security will be provided both days.

*Affected Streets that will be closed:*

*Girard Ave between Prospect and Torrey Pines Rd. Silverado between Drury Lane and the alley west of Herschel. Wall Street between Girard Ave and the alley west of Herschel.*

**Event Time line:**

*Friday 10/11 5:00 pm no parking begins (towing starts) for Load in of Tents, Rentals, Restrooms*

*12:00 am load in ends and Overnight Security is provided*

*Sat 10/ 12 6:00 am Load in Continues: Artists and Vendor Load in*

*9:00 am Streets clear of all load in vehicles*

*10:00 am Festival Starts*

*6:00 pm Festival Ends Overnight Security is provided*

*Sunday 10/13 7:00 am Restrooms are serviced*

*8:00 am Streets clear of all vehicles*

*10:00 Festival Starts*

*6:00 pm Festival Ends*

*Clean up and Load out*

*1100pm: Streets reopen to traffic*

La Jolla Art and Wine Festival has raised close to half a million dollars for the local Schools. This year La Jolla High School will benefit from their Fundraiser.

**Motion to Approve Request for Temporary Street Closures on portions of Girard Ave, Wall Street, and Silverado Street for the 11<sup>th</sup> annual fundraiser event benefiting La Jolla Public Schools on Saturday and Sunday October 12-13, 2019: Mackey, Second: Gantzel 8-0-0 (Warwick not available to vote)**

**Agenda Item 4: Manoogian Wedding Procession-** Request for Temporary Street Closures on portions of Ivanhoe Ave and Prospect Street for brief wedding procession from Congressional Church to La Valencia Hotel the afternoon of Saturday September 14, 2019 (Claire Manoogian)  
**Action Item**

Claire's parents live in La Jolla while she and her fiancé live in the Bay area. Her fiancé comes from the Bay area and his family and friends have never been to this area so there is excitement about having their wedding here in La Jolla. They are being married in the Congregational Church on the afternoon of September 14, 2019 and it is just a 3- minute walk to the La Valencia Hotel but the logistics of trying to get a group of 125-150 wedding guests safely to that venue caused them to apply for a very brief street closure. They ruled out walking on the sidewalk so they would not interfere with the flow of sidewalk traffic and want to have this

short procession on the street; Italian Village style. They will be led by a five-piece marching band that will not be amplified, and will likely be playing 76 Trombones from the musical The Music Man. They will have a wedding trolley in the procession for their elderly and handicapped guests who would have difficulty walking.

*The City of San Diego's Traffic Supervisor Ron Liftsinger has suggested the following:*

*Six traffic controllers plus a supervisor*

*No safety equipment required*

*No parking restrictions required*

*2- week advisory signage to read, "Expect Traffic Delays". The signs will also include the proposed procession time*

The proposed procession time would be 4:00-4:30pm but Claire believes it will go much faster. During this time, traffic would simply be held by traffic controllers in the relevant areas of the procession. If there are people parked on Ivanhoe St. or cars attempting to turn onto Ivanhoe from Cave St., and the end of the procession is already crossing over to Prospect all pedestrians attempting to access their cars on Ivanhoe or turning onto Ivanhoe would have full access to the Street.

They have secured support from many affected business owners on Ivanhoe and Prospect through the petition process. There were some businesses that expressed concern with the closure. There are 3 parking garages on Ivanhoe and their customers park in those garages. Area businesses affected by the brief closure wanted assurances that those parking garages would remain accessible during the brief closure. Claire spoke to the business owners and reassured them the parking garages would not be affected by her temporary street closure and Dave followed up with the business owners as well; both retailers found the street closures acceptable under those circumstances.

Board Discussion:

**Tom** asked Claire if she needed to go through the Permit process with the City and she responded that yes, she is going through it now.

**Ross** expressed concern with traffic congestion occurring on a busy La Jolla weekend afternoon. Traffic is a mess and her brief closure would make it more of a mess. It may also set a precedence. Her single event is one thing but he has concerns it will open up the doors for more requests for brief closures on any given day.

**Brian** also has concerns for the street closure that may be brief but people trying to get to their cars during the procession may not understand what is happening and may not want to wait.

**Natalie** reminded the Board that weekend is Enjola La Jolla weekend. Enjola La Jolla is a monthly LJVMA Promotional event and it will occur that afternoon but should not be interference.



**Robert suggests** that traffic be halted on Cave Street to Roslyn St and then around to Prospect street which would be more preferable than jamming up traffic on Ivanhoe to Prospect Street.

Claire told the Board that she and her fiancé reserved blocks of area hotel rooms in the Village for that weekend so their guests will be able to walk around and see all that La Jolla has to offer. She also noted that if she does not get her permit they will be walking on the sidewalk. The purpose of walking in the street was so their wedding procession would not impede on the foot traffic that is in that area of Ivanhoe during that time of day.

Dave does not believe setting a precedence will be an issue. It's not easy to get a City Special Events Permit to close a street. There are a lot of expenses, and time and effort involved to obtaining one.

**Motion to Approve Request for Temporary Street Closures on portions of Ivanhoe Ave and Prospect Street for brief wedding parade from Congressional Church to La Valencia Hotel the afternoon of Saturday September 14, 2019 provided all City requirements are met and permit is issued: Mackey, Second: Brady 7-1-0 (Rudolph) Warwick not available to vote**

**Agenda Item 5: La Jolla Blvd Safety Initiative-** Resident request to form an Ad Hoc Subcommittee to study pedestrian safety issues on La Jolla Blvd. (Ira Parker) **Action Item**

Ira Parker is a Public Health Specialist and he is trying to prevent a fatality on La Jolla Boulevard. He is requesting that one or two board members make up an ad-hoc subcommittee with him to brainstorm how to reinforce the safety measures of the blinking lights at the pedestrian crosswalks on La Jolla Blvd.

The yellow blinking lights for the crosswalks along La Jolla Boulevard are giving pedestrians a false sense of security because when drivers see the blinking lights, they speed up to make it through the crosswalk before the pedestrian does, in an effort to avoid having to stop for them. If a driver does stop for the pedestrian in the crosswalk, the drivers in back of the stopped car will go around them in an effort to pass the stopped car and get through the crosswalk. The proficiency and competency of drivers has gone way down and someone is going to get killed or become gravely injured.

Ira created a spreadsheet detailing the cross streets on La Jolla Boulevard and what method of traffic calming was available at the site, i.e. crosswalk, blinking yellow lights, traffic circle, stop sign, and red-yellow-green traffic lights. Most of the traffic calming measures of the traffic circles and blinking yellow lights are centered around Bird Rock Business District. Most of the blinking lights appear to be associated in business areas and very few are in the residential areas.

His proposal is to replace the yellow blinking bulbs with red blinking bulbs thereby forcing drivers to stop much like they do for the HAWK signal on Torrey Pines Rd. He developed an action plan for the proposed ad-hoc subcommittee:

*Potential Ad-Hoc Sub-Committee Actions:*

*1. Short-Term Strategy*

*a. Seven existing yellow flashing lights (excluding 5 Bird Rock systems) would be converted to red flashing lights by replacing yellow bulbs with red bulbs --- 56 bulbs plus labor costs. (Rationale: The 5 Bird Rock systems --- 1) are all associated with traffic-calming, pedestrian friendly traffic circles and 2) requiring vehicles to stop would likely cause traffic back-ups/jams in the traffic circles.)*

*b. Educational signs would be placed along La Jolla Boulevard to empower drivers and to reinforce the understanding of red flashing lights.*

*2. Long-Term Strategy*

*a. Red flashing lights would be installed at the intersections of Winamar, Del Norte, and La Canada.*

*b. Law enforcement monitoring activities would be enhanced.*

*c. Other pedestrian safety interventions would be identified and implemented.*

**Board Discussion**

**Brian** reminded that it is a California State Law that all drivers must stop for a pedestrian in the crosswalk regardless of what color bulb is blinking in the crosswalk.

**Tom** commented that converting the seven pedestrian crosswalks with blinking yellow lights on La Jolla Boulevard could be heard by the full Board and an ad-hoc subcommittee may not be needed. Tom agrees with Ira that something has to be done on La Jolla Boulevard. He has been living here for 50 years and there have been people killed on it. A huge problem is the lack of enforcement by Police.

**Dave** asked Ira if instead of establishing an ad-hoc sub-committee he puts it on the August Agenda for the full Board to weigh in on it. Ira does not mind but did ask if the Board has the capacity to advocate for it; meaning if the City says No would the Board try again. Ira was reminded that at some point it would have to get past LJCPA first before it gets to the City.

Dave will put the item on the August Agenda and contact the City traffic engineer to determine what kind of obstacles we would run into at the City level in converting the yellow flashing pedestrian crosswalks to red HAWK-type lighting.

**Adjournment: 5:55pm**

**Respectfully Submitted: Donna Aprea, Secretary**

**Next Meeting: Wednesday August 21, 2019**